

ADMINISTRATIVE HEARING STAFF REPORT



Planning and Zoning Division
Department of Community &
Economic Development

**New Condominium Preliminary Plat
State Street Plaza
237 – 255 South State Street and 241 Floral St.
PLNSUB2011-00038
March 24, 2011**

Applicant: Tannach Properties, LLC

Staff: Everett Joyce, 535-7930
everett.joyce@slcgov.com

Tax ID: 16-06-154-002, 16-06-154-003, 16-06-154-004, 16-06-154-005, 16-06-154-006, 16-06-154-009, 16-06-154-040, 16-06-154-053, 16-06-154-054

Current Zone: D-1

Master Plan Designation: The Central Community Master Plan Future Land Use Map identifies this as the Central Business District

Council District: Council District 4
- Luke Garrott

Acreage: 0.62 acres

Current Use: Vacant buildings

Notice:
Mailed on March 11, 2011
Posted on March 15, 2011
Website on March 11, 2011

Applicable Land Use Regulations:

- Utah Condominium Act of 1975
- Section 21A.56.060 Condo
- Section 20.20.020 Sub
- Section 21A.30.020 D-1

Attachments:
A. Department Comments
B. Preliminary Plat

Request

This is a request by Tannach Properties, LLC for preliminary approval to build a mixed-use condominium with 14 units. Condominium units 13 and 14 will consist of multiple residential apartments. The subject property is located at 237 – 255 South State Street and includes the property at 241 Floral street in the D-1 Downtown zoning district. The SLC Redevelopment Agency is the owner of the property.

Staff Recommendation

Planning Staff recommends that the Administrative Hearing Officer approve the preliminary plat for “State Street Plaza” condominium located at 237 -255 South State Street subject to the following conditions:

1. Compliance with the departmental comments as outlined in this staff report and in the attached comments.
2. Compliance with any additional departmental issues or concerns related to review of detailed information of parking access ramp, parking and access design and layout, building elevation and water tower elevation.
3. A final condominium plat application shall be filed with the Planning Division and the final plat shall be recorded with the Salt Lake County Recorder prior to issuance of Certificate of Occupancy.
4. Full compliance with the Utah Condominium Act of 1975 and the Condominium Approval Procedure regulations in the Salt Lake City Zoning Ordinance (Section 21A.56).
5. The execution and recording of the Declaration of Covenants. The Declaration of Covenants must be approved by the Salt Lake City Attorney for compliance with State of Utah and Salt Lake City Code requirements.
6. No condominium shall have final approval, or shall said units be sold, until the plat has been recorded with the Salt Lake County Recorder.

Vicinity Map



Salt Lake City
Community and Economic Development Dept.
Planning Division

Background

This is a proposed two structure mixed-use condominium. Proposed is a mixed-use, mixed-income, community-oriented downtown renewal project that combines residential living with street level commercial uses. The proposed street level commercial plaza with walk-in retail and arts will create a walk-through connection between State Street and the historic Cramar House (241 Floral Street, the flower shop building) to the east on Floral Street. The flower shop building is the only existing building that will remain. Two existing facades will be incorporated into the street front facade.

This project will include the demolition of existing structures except for the Cramar House on the east side of Floral Street and the existing facades on the south portion of the State Street frontage will be retained.

New construction of a principal building will consist of multiple levels with the north portion of the structure being 10 stories and the south portion being seven-stories (maximum). The south portion will step back in stages above the existing historic three-story masonry building facades. The upper levels of the project will consist of two condominium units (Unit 13 and Unit 14), with approximately 153 mixed-income rental housing units ranging in size from studios to three-bedroom apartments. There will be two levels of underground on-site parking located between State Street and Floral Street providing approximately 160 parking spaces for the residential units. There will be no on-site parking dedicated for the commercial uses. Within the D-1 Zoning District, off street parking for the first 25,000 sq. ft. of nonresidential use are exempt from parking requirements.

D-1 Downtown Zoning Standards			
Requirements	Standard	Proposed Development Status	Impact on Development
Front / Corner Yard	No Min Setback 5' Max Setback	Proposal meets this standard	None
Side / Rear Yard	No Minimum	Proposal meets this standard	None
Building Height	100' Conditional Use to exceed	Building meets this standard. Replacing the water tank requires conditional use approval	Requires Conditional use approval for water tank exceeding 100'
1st Floor Glass Street Elevation	40%	Proposal meets this standard	None
Parking	Parking for the first 25,000 sq. ft of nonresidential uses is exempt. One half stall per dwelling.	Proposal meets this standard,	None

Comments

Public Comments

No public comments were received at the time of writing this staff report.

Departmental Comments

The comments received from pertinent City Departments/Divisions are attached to this staff report (Exhibit A). There are no substantial requirements the applicant cannot meet.

Analysis and Findings

Section 20.20.020 Minor Subdivision Standards:

Section 20.20.020 list the following standards that a minor subdivision, for condominiums, shall meet:

- A. The general character of the surrounding area shall be well defined and the minor subdivision shall conform to this general character.**

Finding: The base zoning of the property is D-1. The purpose of the D-1 central business district is to foster an environment consistent with the area's function as the business, retail and cultural center of the community and the region. The character of the neighborhood is mostly a mix of commercial and mixed-use buildings. The proposal conforms to this character.

- B. Lots created shall conform to the applicable requirements of the zoning ordinances of the City.**

Finding: The proposed condominium complies with requirements of the Zoning Ordinance, subject to water tower height conditional use approval.

- C. Utility easements shall be offered for dedication as necessary.**

Finding: No utility easements are required to be dedicated.

- D. Water supply and sewage disposal shall be satisfactory to the City Engineer.**

Finding: Water supply and sewage disposal shall be found to be satisfactory to the City Engineer and the Public Utilities Department. Review of detailed drawings and compliance with City Department comments will be required prior to final plat approval.

- E. Public improvements shall be satisfactory to the Planning Director and City Engineer.**

Finding: The Engineering Division has concern about the type of vehicles (service use) and the number of parking spaces proposed and how these impact the restricted space on Floral Street and the needs for turning maneuvers to and from the right-of-way. The Engineering Division may possibly, require one-way modification to Floral Street due to increased traffic volumes and the streets narrow width. These issues need to be addressed prior to final plat approval.

The Division of Transportation review comments identify that the residential unit parking requires one half parking stall for each unit. The retail, theater, restaurant, and Historic building equal 24,750+/- sf. with the plaza area of 21,700+/- sf. (no parking is required for the first 25,000sf, 1 stall /1000 sf. thereafter). The proposal meets this standard.

The plans indicate two below grade parking levels but do not show parking layout, ramp grades or access heights, circulation, lane widths, etc. All access for the parking and service areas are show from the private right-of-way (Floral Street) which connects to 200 South on the north end, and Edison Street, a one way south bound street to 300 South, on the south end.

These and other public improvements will need to be addressed through the final plat process prior to recordation of the Final Plat.

Section 20.20.070 Standards for Administrative Approval:

In addition, the planning director, or designee, may, at the administrative consideration, approve the proposed minor subdivision, condominium, if the planning director, or designee, finds that:

A. The minor subdivision will be in the best interests of the city.

Finding: Mixed-use and mixed-income development is encouraged through zoning and master plan policies and therefore is in the best interest of the City.

B. All lots comply with all applicable zoning standards.

Finding: The proposed condominium complies with applicable zoning lot standards.

C. All necessary and required dedications are made.

Finding: No dedications are required.

D. Provisions for the construction of any required public improvements are included.

Finding: Other public improvements will be addressed through the Building Permit process and final plat process prior to recordation of the Final Plat.

E. The subdivision otherwise complies with all applicable laws and regulations.

Finding: The proposed condominium subdivision has been reviewed by pertinent City Departments/Divisions in terms of applicable laws and regulations. These Departments/Divisions have given preliminary approval of the condominium subdivision with conditions as noted in this report and as found in Attachment A.

Summary

The proposed new condominium preliminary plat has demonstrated compliance with, or the ability to comply with, all of the standards required. Planning Staff supports the request subject to the recommended conditions of approval shown on the first page of this report.

Planning Director’s Recommendation: _____ By: _____

Approval Subject To:

Date Completed: _____

Attachment A
Department Comments

TO: EVERETT JOYCE, PLANNING

FROM: SCOTT WEILER, P.E., ENGINEERING

DATE: MARCH 14, 2011

SUBJECT: **State Street Plaza – Preliminary Condominium Plat**
237 - 255 S. State Street
PLNSUB 2011-00038

SLC Engineering has reviewed this application and has the following comments:

1. Due to the limited access and width of the existing 15' wide private driveway (aka Floral Street), it appears that the major construction staging activities must come from the State Street side of the property. State Street is a UDOT road. We recommend that the applicant contact UDOT to confirm that it will allow a portion of the northbound vehicular travel lanes and sidewalk to be closed for the duration of the project.
2. The proposed layout relies exclusively on Floral Street to access its proposed parking structure. We recommend that perpetual access rights be confirmed for the full extents of Floral Street, preventing any of the abutting property owners from closing any portion of Floral Street in the future. Aligning the access into the proposed parking structure with the existing east/west driveway to Edison Street is recommended.
3. The proposed layout will add considerable traffic volume to Floral Street but its 15' width effectively prevents vehicles from passing in opposite directions. Further study is warranted to determine if Floral Street should be signed for one-way travel. Existing users of Floral Street may oppose one-way designation.
4. The pavement condition of Floral Street adjacent to this property is broken and uneven. The poor pavement adjacent to and for a short distance north of this property must be replaced by the developer as part of this project. As a minimum, 3" asphalt over 8" road base should be installed after the heavy construction activities have been completed.
5. It is anticipated that the sidewalk and some of the existing streetscape features on State Street will be demolished during construction. Although State Street is a State road, SLC Corp. has jurisdiction for the portion of the right-of-way behind curb. The urban forester has recommended that the two existing maples be transplanted. He has

also volunteered to prune the existing honeylocust (14" diameter) so that it can remain in place, if a new planter can be installed by the developer. He has authorized the demolition of the existing plum tree. Street lights, a bike rack, parking meters, a parking sign, a mid-block sidewalk ramp and a bus stop also exist on the State Street frontage of the project, requiring protection during construction if they are allowed to remain. Some of these objects may need to be replaced by the developer. If the State Street streetscape is brought up to current SLC Standards, CBD Maintenance will take over maintenance responsibilities of the State Street streetscape for the entire frontage of this plat.

6. Civil improvement plans for the State Street streetscape and the Floral Street pavement replacement must be submitted for review and approval. A standard SLC Subdivision cover sheet is required on the plans. The following approval signatures are required on the cover sheet:

- SLC Transportation
- SLC Fire Department
- SLC Public Utility Department (sewer, water & drainage improvements)
- SLC Engineering Division (State Street streetscape design)
- SLC Planning Department (State Street streetscape design)

When the improvement plans have been finalized, a mylar set must be submitted by the developer to each of these SLC divisions for signature approval.

7. The developer must enter into a subdivision improvement construction agreement. This agreement requires the payment of a 5% fee based on the estimated cost of reconstructing the State Street streetscape and the Floral Street private pavement. A copy of the agreement is available in my office. The developer should contact Joel Harrison (535-6234) to discuss insurance requirements for the project.
8. A certified address is required prior to applying for a building permit. It appears that Unit 12 will require a different address than the other units.
9. The SLC Surveyor must approve the final plat prior to its recordation. Redlined comments on the plat have been provided to Land Design Engineering. (The Owner's Dedication on the preliminary plat names Tannach Properties, L.L.C. as the owner of this property.)

cc: John Naser
DJ Baxter
Matt Dahl
Alden Breinholt
Brad Stewart
Barry Walsh
Vault

Joyce, Everett

From: Stoker, Justin
Sent: Wednesday, March 09, 2011 11:39 AM
To: Joyce, Everett
Cc: Garcia, Peggy
Subject: PLNSUB2011-00038 State Street Plaza condo

No problems with the condo, but there are a number of fees and permits that will need to be obtained from Public Utilities before construction. Some fees may be required before plat signature. Contact the SLCPU Contracts office about any condo fees for the project (801-483-6727).

Justin

Justin D. Stoker, PE, LEED® AP, CFM
Salt Lake City Public Utilities
1530 S. West Temple, SLC, UT 84115
ph. (801) 483-6786 - justin.stoker@slcgov.com



Please consider the environment before printing this e-mail

Joyce, Everett

From: Ross, Michelle
Sent: Monday, February 28, 2011 11:46 AM
To: Joyce, Everett
Subject: PLNSUB 2011-00038

Joyce,

The PD has no issues with this.

Thanks,
Sgt. Michelle Ross

Joyce, Everett

From: Walsh, Barry
Sent: Wednesday, February 23, 2011 5:11 PM
To: Weiler, Scott
Cc: Young, Kevin; Joyce, Everett
Subject: RE: PLNSUB2011-00038

February 23, 2011

Scott Weiler, P.E.

I am concerned as to what type of vehicles (service use) and how many are proposed for the parking structure etc. The drawing shown a radius line? On the north side of the parking ramp drive that would need to be addressed for turning maneuvers etc from the Alley.

A while back the developer was wondering if Floral could be designated one way and which way etc. he also wanted to know if the paving could be up graded with pavers or decorative stone etc. At that time I indicated that Floral was a private alley and all the abutting owners would have to be on board for any changes.

When we looked at this in DRT 5/20/10 they ask about a drive approach on State Street for a driveway thru the plaza for drop off and possible taxi service. I mentioned it would be a UDOT review issue.

These things are all still viable and need to be addressed.

Barry Walsh

Cc Kevin Young, P.E.
Everett Joyce, Planning
File

From: Weiler, Scott
Sent: Wednesday, February 23, 2011 3:50 PM
To: Walsh, Barry
Subject: RE: PLNSUB2011-00038

Barry,

Are you concerned about the restricted space for turning off of Floral Street into the proposed parking structure? Is it feasible for me to encourage the applicant to access State Street, rather than Floral Street?

Scott

From: Walsh, Barry
Sent: Wednesday, February 23, 2011 2:17 PM
To: Joyce, Everett
Cc: Young, Kevin; Weiler, Scott; Itchon, Edward; Garcia, Peggy; Butcher, Larry
Subject: PLNSUB2011-00038

February 23, 2011

Everett Joyce, Planning

Re: PLNSUB2011-00038 Preliminary New Condominium "State Street Plaza" at 237 – 255 South State street.

The division of transportation review comments and recommendations are as follows:

There are no parking calculations provided.

The plans submitted do not indicate the number of residential units. Parking requires one half parking stall for each unit.

The retail, theater, restaurant, an Historic bldg equal 24,750+/- sf. with the plaza area of 21,700+/- sf. (no parking is required for the first 25,000sf, 1 stall /K sf. there after)

The plans indicate two below grade parking levels but do not show parking layout, ramp grades or access heights, circulation, lane widths, etc. All access for the parking and service areas are show from the private 16' wide alley (Floral Street) which connects to 200 South on the north end, and Edison Street, a one way south bound to 300 South, on the south end.

Sincerely,

Barry Walsh

Cc Kevin Young, P.E.
Scott Weiler, P.E.
Ted Itchon, Fire
Peggy Garcia, Public Utilities
Larry Butcher, Permits
File

There are no Accela task or access for transportation reviews.

Joyce, Everett

From: Walsh, Barry
Sent: Wednesday, February 23, 2011 2:17 PM
To: Joyce, Everett
Cc: Young, Kevin; Weiler, Scott; Itchon, Edward; Garcia, Peggy; Butcher, Larry
Subject: PLNSUB2011-00038

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Sincerely,

Barry Walsh

Cc Kevin Young, P.E.
Scott Weiler, P.E.
Ted Itchon, Fire
Peggy Garcia, Public Utilities
Larry Butcher, Permits
File

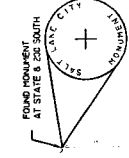
There are no Accela task or access for transportation reviews.

Joyce, Everett

From: Limburg, Garth
Sent: Tuesday, February 22, 2011 10:33 AM
To: Joyce, Everett
Subject: PLNSUB 2001-00038 State Street Plaza

Thanks for the opportunity to review the proposal. The City has assessed this property location for various special assessments which need to be paid in full before final approval for the project is given. If you need the complete payoff amounts I will need to receive from you all of the parcel numbers associated with this project located at 237-255 So. State Street. Thanks, Garth

Attachment B
Preliminary Plat

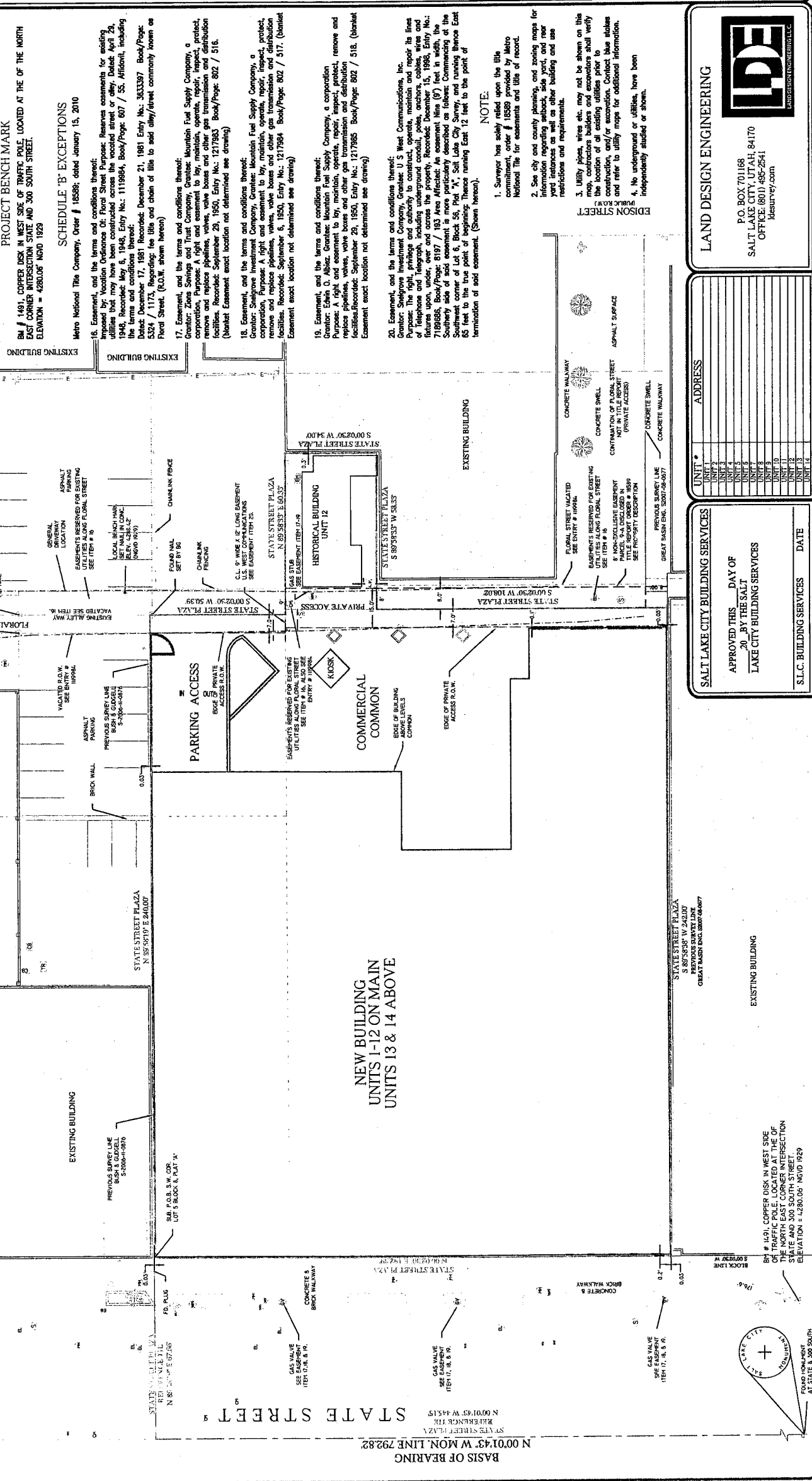


RECORD OF SURVEY PLAT

STATE STREET PLAZA CONDOMINIUM PLAT

235-257 SOUTH STATE STREET SALT LAKE CITY SALT LAKE COUNTY, UTAH

LOCATED IN THE NORTHWEST QUARTER OF SECTION 06,
TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN.



LEGEND

- STREET MONUMENT
- SET 5/8 PROPERTY CORNER
- LIGHT POLES (TYP.)
- SEWER MANHOLE (TYP.)
- PRIVATE OWNERSHIP
- SEE ADDITIONAL SHEETS
- COMMON OWNERSHIP, INCLUDING ANY FILLARS, STRUCTURAL BEARING, AND EXTERIOR WALLS
- LIMITED COMMON OWNERSHIP
- SEE ADDITIONAL SHEETS

PROJECT BENCH MARK
BM # 1491, COPPER DISK IN WEST SIDE OF TRAFFIC PALE LOCATED AT THE OF THE NORTH EAST CORNER INTERSECTION OF STATE AND 300 SOUTH STREET.
ELEVATION = 4268.08' NAD 1983

SCHEDULE 'B' EXCEPTIONS
Metro National Title Company, Order # 18598; dated January 15, 2010

17. Easement, and the terms and conditions thereof:
Grantor: Mountain Fuel Supply Company, a corporation
Grantee: Mountain Fuel Supply Company, a corporation
Purpose: A right and easement to lay, maintain, operate, repair, inspect, protect, remove and replace pipelines, valves, valve boxes and other gas transmission and distribution facilities. Record: September 29, 1950, Entry No.: 1217983 Book/Page: 802 / 518. (blanket)

18. Easement, and the terms and conditions thereof:
Grantor: Mountain Fuel Supply Company, a corporation
Grantee: Mountain Fuel Supply Company, a corporation
Purpose: A right and easement to lay, maintain, operate, repair, inspect, protect, remove and replace pipelines, valves, valve boxes and other gas transmission and distribution facilities. Record: September 29, 1950, Entry No.: 1217983 Book/Page: 802 / 518. (blanket)

19. Easement, and the terms and conditions thereof:
Grantor: Mountain Fuel Supply Company, a corporation
Grantee: Mountain Fuel Supply Company, a corporation
Purpose: A right and easement to lay, maintain, operate, repair, inspect, protect, remove and replace pipelines, valves, valve boxes and other gas transmission and distribution facilities. Record: September 29, 1950, Entry No.: 1217983 Book/Page: 802 / 518. (blanket)

20. Easement, and the terms and conditions thereof:
Grantor: Mountain Fuel Supply Company, a corporation
Grantee: Mountain Fuel Supply Company, a corporation
Purpose: A right and easement to lay, maintain, operate, repair, inspect, protect, remove and replace pipelines, valves, valve boxes and other gas transmission and distribution facilities. Record: September 29, 1950, Entry No.: 1217983 Book/Page: 802 / 518. (blanket)

SURVEYOR'S CERTIFICATE
I, **ASHLEY JOHNSON**, do hereby certify that I am a Registered Civil Engineer, and that I hold Certificate No. 79751/2 as prescribed under the laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into condominium units, and have caused the same to be correctly surveyed and staked on the ground as shown on this plat.

JAN 11, 2011

PROPERTY DESCRIPTION
9 parcels located within Block 56 Plat 'X' Salt Lake City Survey, on file within the Salt Lake City's Engineers Office, Utah. More particularly described as follows:
Beginning at the Southwest corner of Lot 5 Block 56 Plat 'X' Salt Lake City Survey, said point is North 07°01'43" West, along Street monument line a distance of 445.15 feet; thence North 89°59'19" East, a distance of 67.66 feet from a Salt Lake City Street Monument located in the intersection of 300 South and State Street.
Thence North 89°59'19" East, a distance of 240.00 feet to the center of Front Street (vacated); thence South 07°02'30" West, along said vacated street a distance of 50.29 feet; thence North 89°58'33" East, a distance of 80.33 feet; thence South 07°02'30" West, a distance of 24.00 feet; thence South 89°58'33" West, along said vacated street a distance of 108.27 feet; thence South 89°58'33" West, along said vacated street a distance of 108.27 feet; thence South 07°02'30" East, along R.O.W. a distance of 192.39 feet to the Point of Beginning. Subject to easements and rights of way.
Containing 48,740 square feet or 1.112 acres, more or less.
A non-exclusive right of way over tract:
Commencing 90 feet West and 196 feet North of the Southeast corner of Lot 3, Block 56 Plat 'X' Salt Lake City Survey; thence North 100 feet thence West 6 feet; thence South 100 feet; thence East 6 feet to the point of beginning.

OWNERS' DEDICATION
Tennoch Properties, LLC, the owner of the property described herein as the State Street Plaza Condominium Plats, dedicates to the use of the public the survey and plat and dedicates the property in accordance with the Utah Condominium Ownership Act.
By: Benjamin Logau, Manager

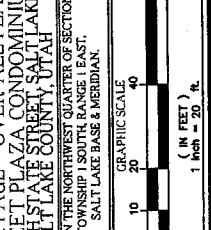
Subscribed and duly acknowledged before me, a Notary Public in the State of Utah, by Benjamin C. Logau, the manager of Tennoch Properties, LLC, for and with the authority of Tennoch Properties, LLC.
Notary Public

Consent to Record and Dedicate
Redevelopment Agency of Salt Lake City, a public body, hereby consent to the recording of this plat and to the dedication of the property as described therein.
Redevelopment Agency of Salt Lake City

Subscribed and duly acknowledged before me, a Notary Public in the State of Utah, by the Redevelopment Agency of Salt Lake City, for and on behalf of, and with the authority of said Redevelopment Agency of Salt Lake City.
Notary Public STAMP

of Trust recorded as Entry No. _____ the holder of an interest in the Property pursuant to a Deed consents to the recording of this plat and to the dedication of the property as described therein.
Lender: _____
By: _____
Subscribed and duly acknowledged before me, a Notary Public in the State of Utah, by the Redevelopment Agency of Salt Lake City, for and on behalf of, and with the authority of said Redevelopment Agency of Salt Lake City.
Notary Public STAMP

COVER PAGE = OVER-ALL PLAT
STATE STREET PLAZA CONDOMINIUM PLAT
235-257 SOUTH STATE STREET, SALT LAKE CITY
SALT LAKE COUNTY, UTAH
LOCATED IN THE NORTHWEST QUARTER OF SECTION 06,
TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN.



UNIT #	ADDRESS
UNIT 1	
UNIT 2	
UNIT 3	
UNIT 4	
UNIT 5	
UNIT 6	
UNIT 7	
UNIT 8	
UNIT 9	
UNIT 10	
UNIT 11	
UNIT 12	
UNIT 13	
UNIT 14	

SALT LAKE CITY BUILDING SERVICES
APPROVED THIS _____ DAY OF _____, 20____ BY THE SALT LAKE CITY BUILDING SERVICES
S.L.C. BUILDING SERVICES DATE

CITY ENGINEERING DIVISION
I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE.
CITY ENGINEER DATE
CITY SURVEYOR DATE

CITY PLANNING DIRECTOR
APPROVED THIS _____ DAY OF _____, 20____ BY THE SALT LAKE CITY PLANNING COMMISSION.
PLANNING DIRECTOR DATE

SALT LAKE VALLEY HEALTH DEPARTMENT
APPROVED THIS _____ DAY OF _____, 20____
SALT LAKE Valley Health Department

CITY ATTORNEY
APPROVED AS TO FORM THIS _____ DAY OF _____, 20____
SALT LAKE CITY ATTORNEY

CITY APPROVAL
PRESENTED TO SALT LAKE CITY THIS _____ DAY OF _____, 20____ AND IT IS HEREBY APPROVED.
SALT LAKE CITY MAYOR
SALT LAKE CITY RECORDER

LAND DESIGN ENGINEERING
P.O. BOX 701168
SALT LAKE CITY, UTAH 84170
OFFICE: (801) 485-2541
Resurvey.com

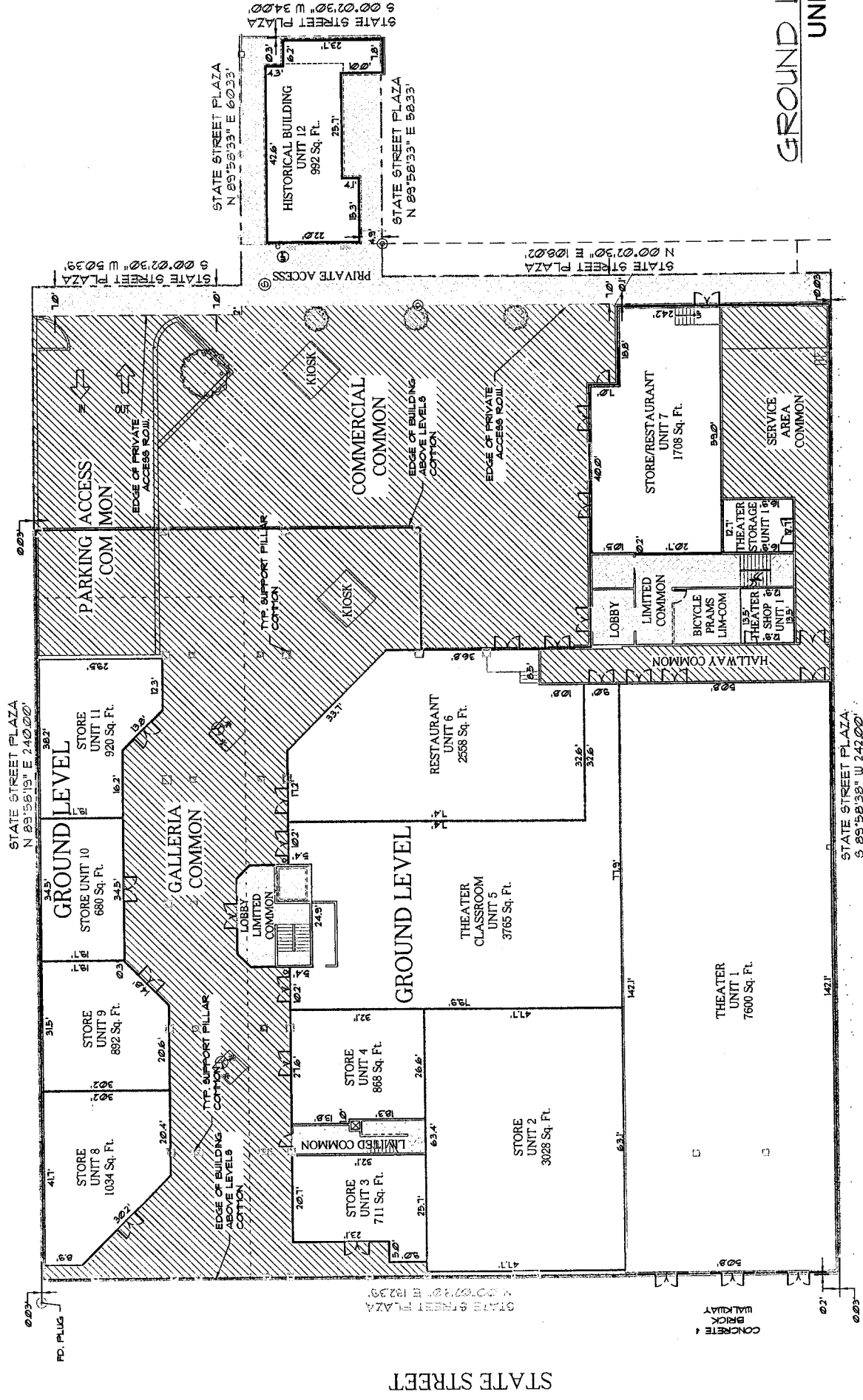
APPROVED THIS _____ DAY OF _____, 20____ BY THE SALT LAKE CITY BUILDING SERVICES
S.L.C. BUILDING SERVICES DATE

CITY ENGINEERING DIVISION
I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE.
CITY ENGINEER DATE
CITY SURVEYOR DATE

Recorded #
State of Utah, County of Salt Lake, recorded and filed at the request of _____
Date _____ Title _____ Book _____ Page _____
Fee \$ _____ Salt Lake County Recorder

NUMBER _____ ACCOUNT _____ SHEET _____ OF _____ SHEETS

SHEET 2 = GROUND LEVEL
 STATE STREET PLAZA CONDOMINIUM FLAT
 235-257 SOUTH STATE STREET
 SALT LAKE CITY
 SALT LAKE COUNTY, UTAH



GROUND LEVEL
 UNITS 1-12

LAND DESIGN ENGINEERING



7412 SOUTH STATE STREET
 SALT LAKE CITY, UTAH 84047
 OFFICE: (801) 495-2541
 FAX: (801) 495-2547

RECORD OF SURVEY
 STATE STREET PLAZA CONDOMINIUM FLAT
 235-257 SOUTH STATE STREET
 SALT LAKE CITY
 SALT LAKE COUNTY, UTAH
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 06,
 TOWNSHIP 1 SOUTH, RANGE 1 EAST,
 SALT LAKE BASE & MERIDIAN.



STATE STREET PLAZA CONDOMINIUM FLAT
 GRAPHIC SCALE
 (1 INCH = 10 FT.)



LEGEND

- ◆ STREET MONUMENT
 - ⊙ 6ET 5/8" PROPERTY CORNER
 - ⊙ LIGHT POLES (TYP)
 - ⊙ SEWER MANHOLE (TYP)
- (OWNERSHIP KEY)
- ▭ PRIVATE OWNERSHIP
 - ▨ COMMON OWNERSHIP, INCLUDING ANY WALLS, SERVICE AREAS, BEARING, AND EXTERIOR WALLS.
 - ▩ LIMITED COMMON OWNERSHIP

NOTE: COLLISION EXTERIOR WALLS & BEARING WALLS IS DETERMINED COMMON SPACES ON THIS LEVEL.
 * SCALE THIS LEGENDATED LIMITED COMMON AREA.
 * PRIVATE OWNERSHIP IS DETERMINE FROM THE INTERIOR OF THE EXTERIOR WALL TO THE INTERIOR OF THE DIVISION WALL.
 ALL DRAWINGS ARE PRE-CONSTRUCTION

SHEET 2 = GROUND LEVEL
 RECORD OF SURVEY
 STATE STREET PLAZA CONDOMINIUM FLAT
 235-257 SOUTH STATE STREET
 SALT LAKE CITY
 SALT LAKE COUNTY, UTAH
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 06,
 TOWNSHIP 1 SOUTH, RANGE 1 EAST,
 SALT LAKE BASE & MERIDIAN.

Recorded # _____

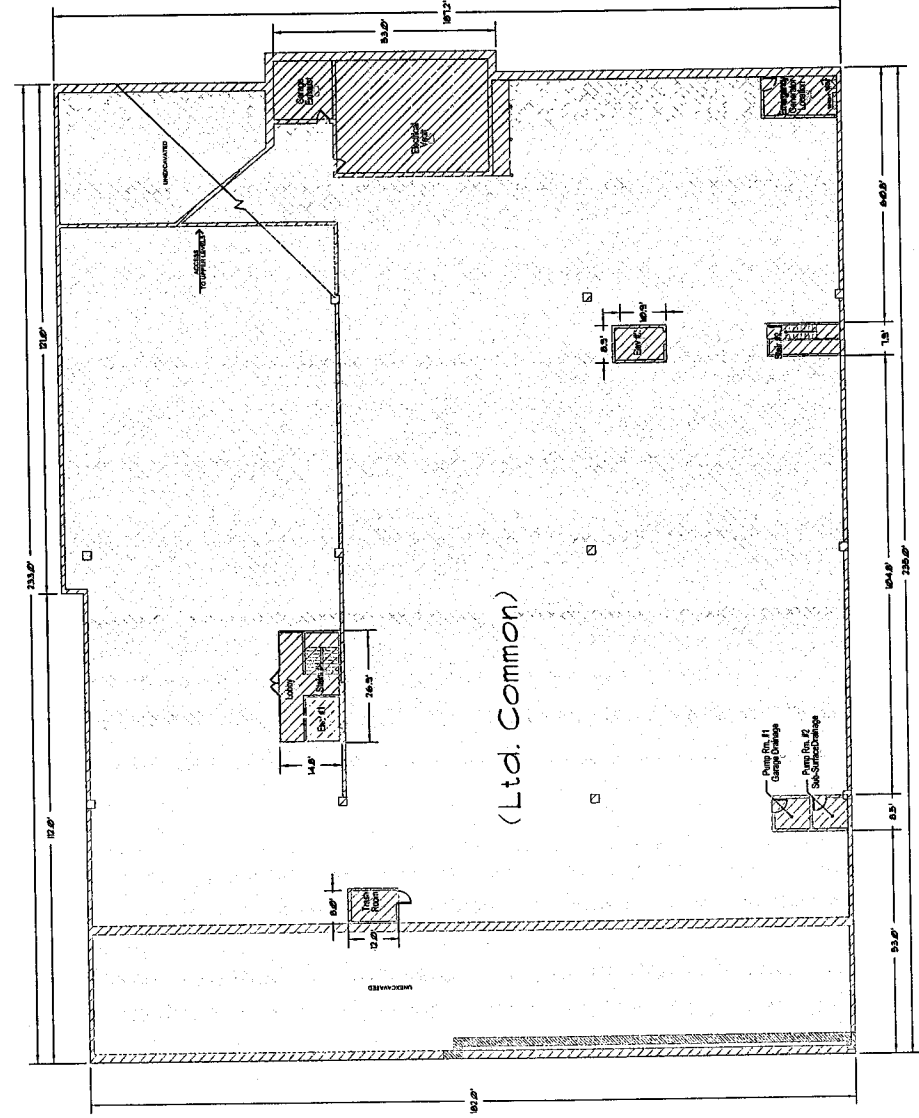
State of Utah, County of Salt Lake, recorded and filed at the request of _____

Date _____ Time _____ Book _____ Page _____

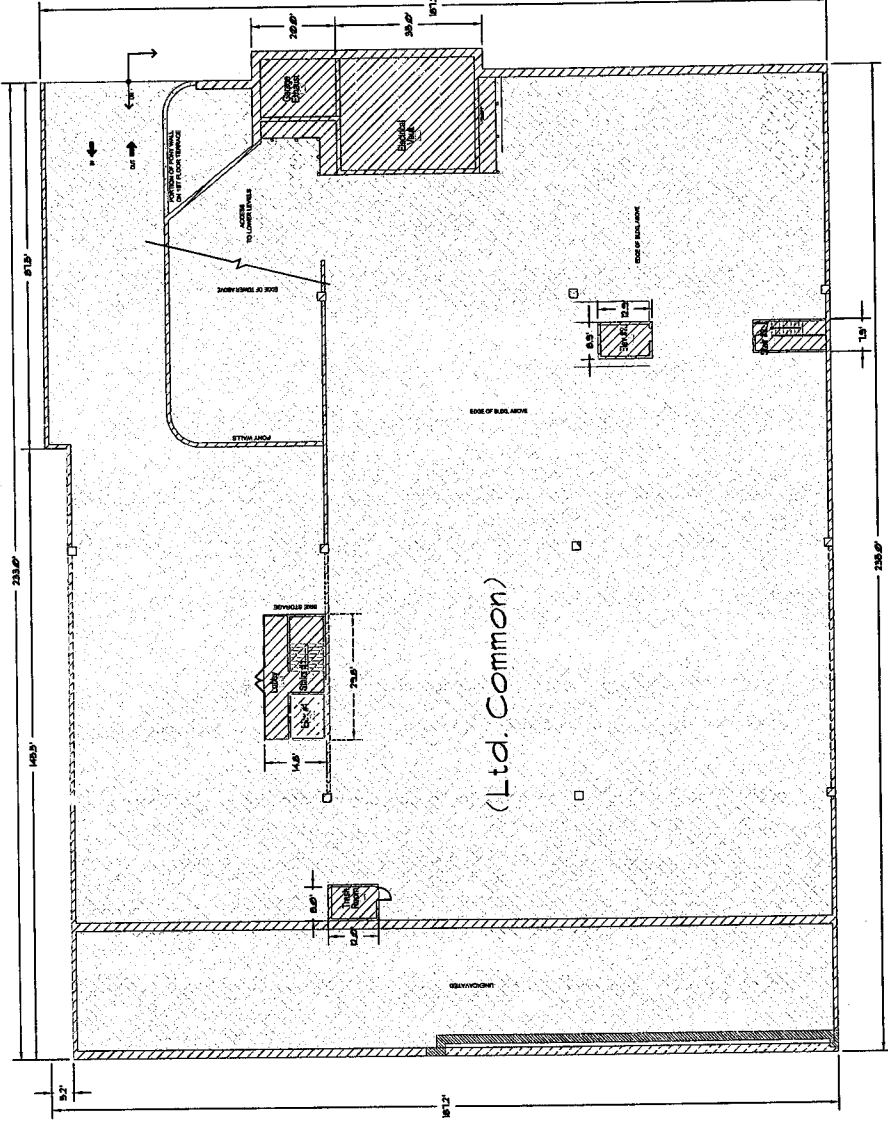
Fee \$ _____ Salt Lake County Recorder

NUMBER _____
 ACCOUNT _____
 SHEET _____
 OF _____ SHEETS

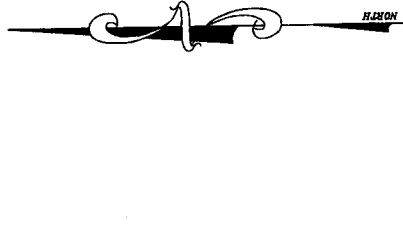
SHEET 3 = UNDERGROUND PARKING
STATE STREET PLAZA CONDOMINIUM FLAT



LOWER LEVEL
UNDERGROUND PARKING



UPPER LEVEL
UNDERGROUND PARKING



STATE STREET PLAZA CONDOMINIUM FLAT
GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

OWNERSHIP KEY
 PRIVATE
 LIMITED COMMON AREA
 (NO COMMON FUEL)
 COMMON AREA

NOTE: COLUMNS, EXTERIOR WALLS, & BEARING WALLS IS DETERMINED BY THE ARCHITECT.
 * PRIVATE COMMON AREAS OCCUR ON THIS LEVEL.
 * SPACE IS DESIGNATED LIMITED COMMON AREA.
 * PRIVATE OWNERSHIP IS DETERMINED FROM THE INTERIOR WALL OF THE EXTERIOR WALL TO THE INTERIOR OF THE DIVISION WALL.
 ALL DRAWINGS ARE PRE-CONSTRUCTION

SHEET 3 = UNDERGROUND PARKING
 RECORD OF SURVEY
 STATE STREET PLAZA CONDOMINIUM FLAT
 235-251 SOUTH STATE STREET
 SALT LAKE CITY,
 SALT LAKE COUNTY, UTAH
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 06,
 TOWNSHIP 30 NORTH, RANGE 1 EAST,
 SALT LAKE BASE & MERIDIAN.

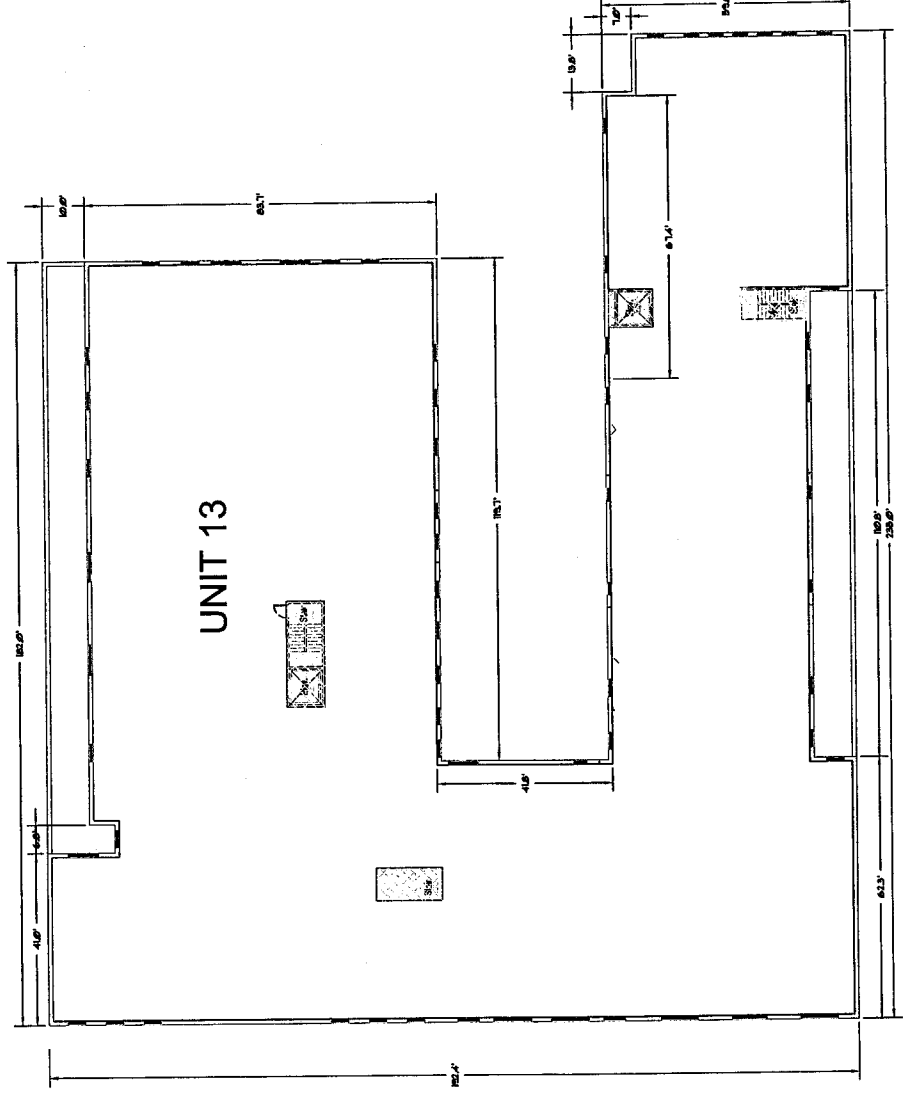
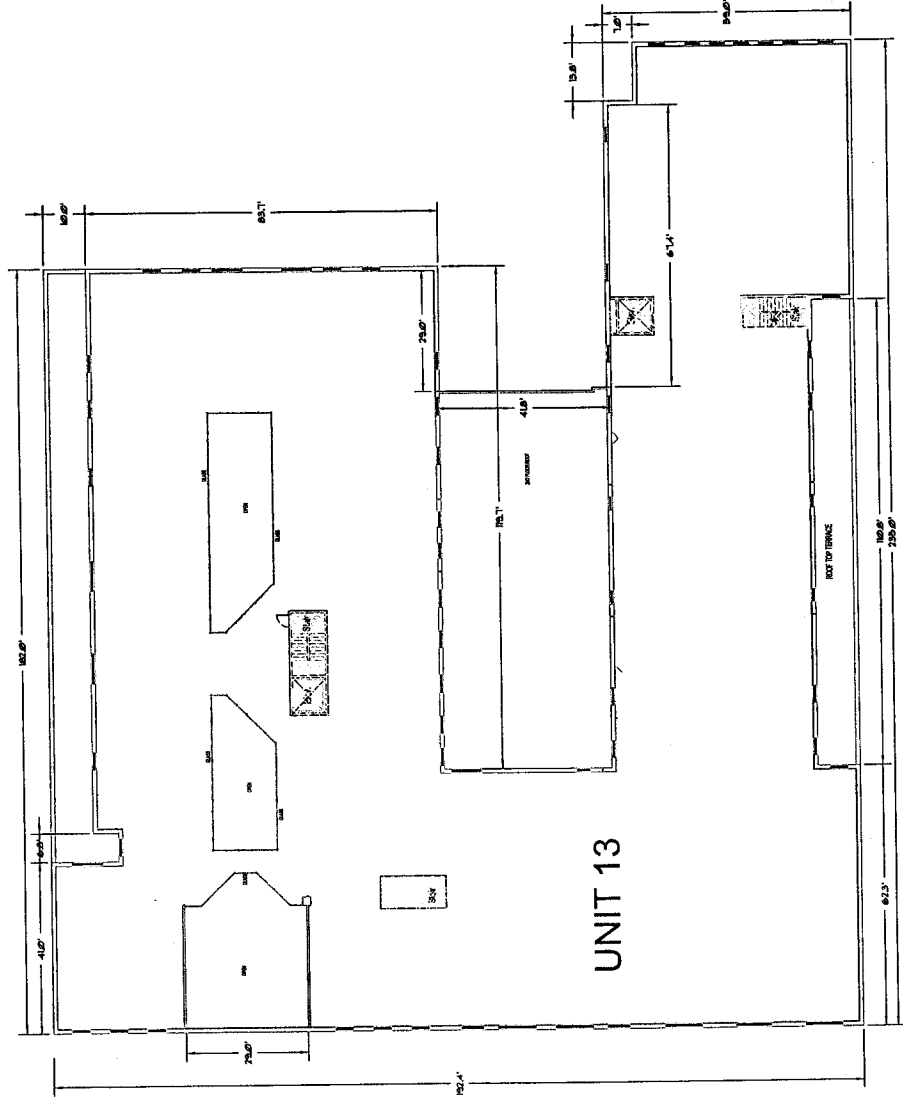
LAND DESIGN ENGINEERING
 7412 SOUTH STATE STREET
 SUITE 201 UTAH 84047
 MIDVALE CITY, 84047
 OFFICE: (801) 985-2541
 FAX: (801) 485-2547

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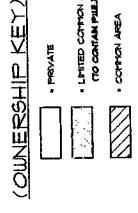
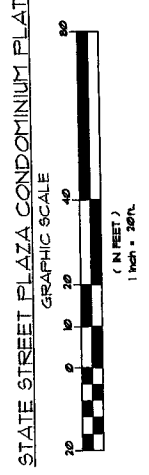
RECORD OF SURVEY
 STATE STREET PLAZA CONDOMINIUM FLAT
 235-251 SOUTH STATE STREET
 SALT LAKE CITY,
 SALT LAKE COUNTY, UTAH
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 06,
 TOWNSHIP 30 NORTH, RANGE 1 EAST,
 SALT LAKE BASE & MERIDIAN.

SHEET 4 = SECOND & THIRD FLOOR
STATE STREET PLAZA CONDOMINIUM PLAT



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RECORD OF SURVEY
STATE STREET PLAZA CONDOMINIUM PLAT
235-251 SOUTH STATE STREET
SALT LAKE COUNTY, UTAH
LOCATED IN THE NORTHEAST QUARTER OF SECTION 06,
TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN.



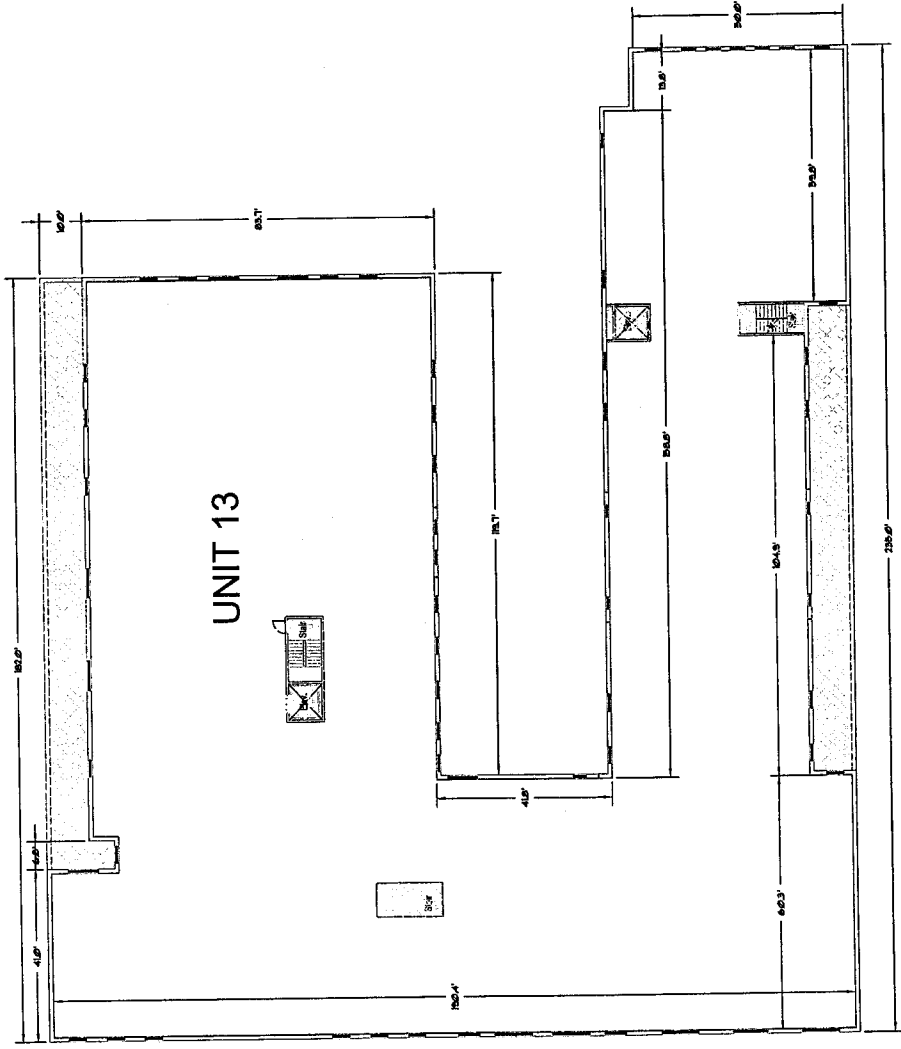
NOTE: COLLUMS, EXTERIOR WALLS, & BEARING WALLS IS DETERMINED BY THE ARCHITECT'S RECORD DRAWINGS.
SPACE IS DESIGNATED LIMITED COMMON AREA.
PRIVATE OWNERSHIP IS DETERMINED FROM THE INTERIOR OF THE EXTERIOR WALL TO THE INTERIOR OF THE DIVISION WALL.
ALL DRAWINGS ARE FREE-CONSTRUCTION.

SHEET 4 = SECOND & THIRD FLOOR
RECORD OF SURVEY
STATE STREET PLAZA CONDOMINIUM PLAT
235-251 SOUTH STATE STREET
SALT LAKE COUNTY, UTAH
LOCATED IN THE NORTHEAST QUARTER OF SECTION 06,
TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN.

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State of Utah, County of Salt Lake, recorded and filed at the request of _____
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Fee \$ _____ Salt Lake County Recorder

NUMBER _____
ACCOUNT _____
SHEET _____
OF _____ SHEETS

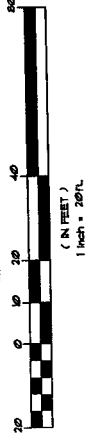
SHEET 5 = FOURTH THRU SIXTH FLOOR TYPICALS
STATE STREET PLAZA CONDOMINIUM PLAT



FOURTH-SIXTH FLOOR TYPICAL
FOURTH-SIXTH FLOOR UNIT 13



STATE STREET PLAZA CONDOMINIUM PLAT
GRAPHIC SCALE



(OWNERSHIP KEY)

- PRIVATE
- LIMITED COMMON AREA (TO OBTAIN PERM)
- COMMON AREA

NOTE: COLUMNS, EXTERIOR WALLS, & BEARING WALLS IS DETERMINED COMMON SPACE
IF OUTSIDE BALCONIES OR DECKS ON THIS LEVEL
PRIVATE COMMON AREAS ARE SHOWN WITH HATCHING
PRIVATE OWNERSHIP IS DETERMINED FROM THE INTERIOR OF THE EXTERIOR WALL TO THE INTERIOR OF THE DIVISION WALL
ALL DRAWINGS ARE PRE-CONSTRUCTION

SHEET 5 = FOURTH THRU SIXTH FLOOR (TYP.)
RECORD OF SURVEY
STATE STREET PLAZA CONDOMINIUM PLAT
235-251 SOUTH STATE STREET
SALT LAKE CITY
SALT LAKE COUNTY, UTAH

LOCATED IN THE NORTHWEST QUARTER OF SECTION 06,
TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN.

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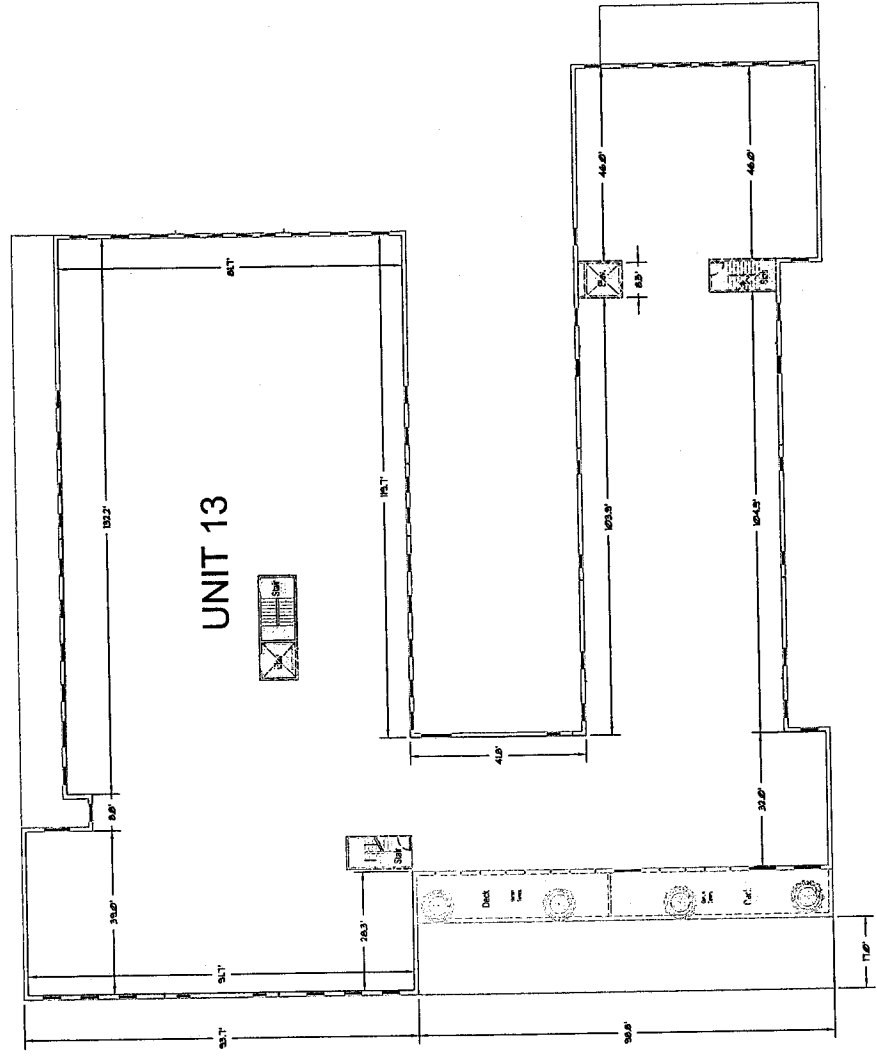
Fee \$ _____ Salt Lake County Recorder

RECORD OF SURVEY
STATE STREET PLAZA CONDOMINIUM PLAT
235-251 SOUTH STATE STREET
SALT LAKE CITY
SALT LAKE COUNTY, UTAH

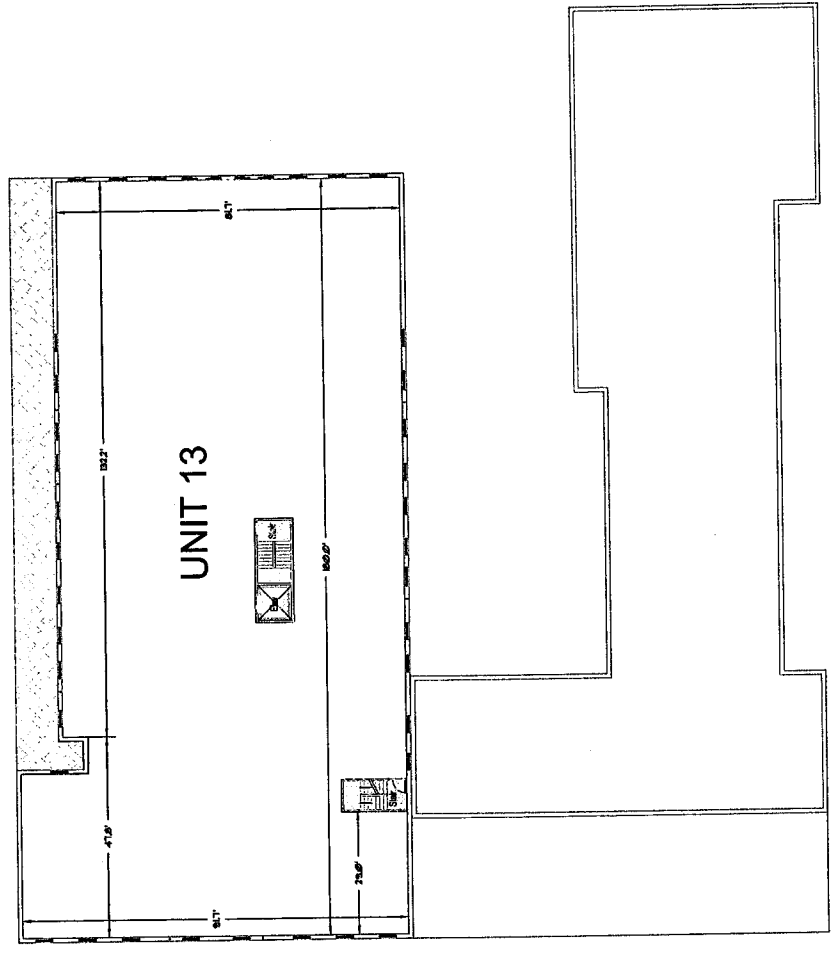
LOCATED IN THE NORTHWEST QUARTER OF SECTION 06,
TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN.

NUMBER _____
ACCOUNT _____
SHEET _____
OF _____ SHEETS

SHEET 6 - SEVENTH & EIGHTH FLOOR TYPICAL
STATE STREET PLAZA CONDOMINIUM PLAT




SEVENTH FLOOR TYPICAL
SEVENTH FLOOR UNIT 13

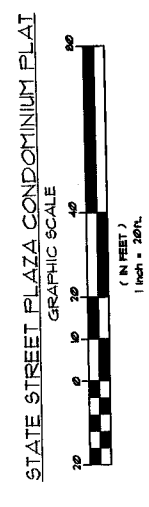


EIGHTH FLOOR TYPICAL
EIGHTH FLOOR UNIT 13

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RECORD OF SURVEY
STATE STREET PLAZA CONDOMINIUM PLAT
235-251 SOUTH STATE STREET
SALT LAKE CITY,
SALT LAKE COUNTY, UTAH
LOCATED IN THE NORTHWEST QUARTER OF SECTION 06,
TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN.



- (OWNERSHIP KEY)
- PRIVATE
 - LIMITED COMMON AREA (NO COMMON WALL)
 - COMMON AREA

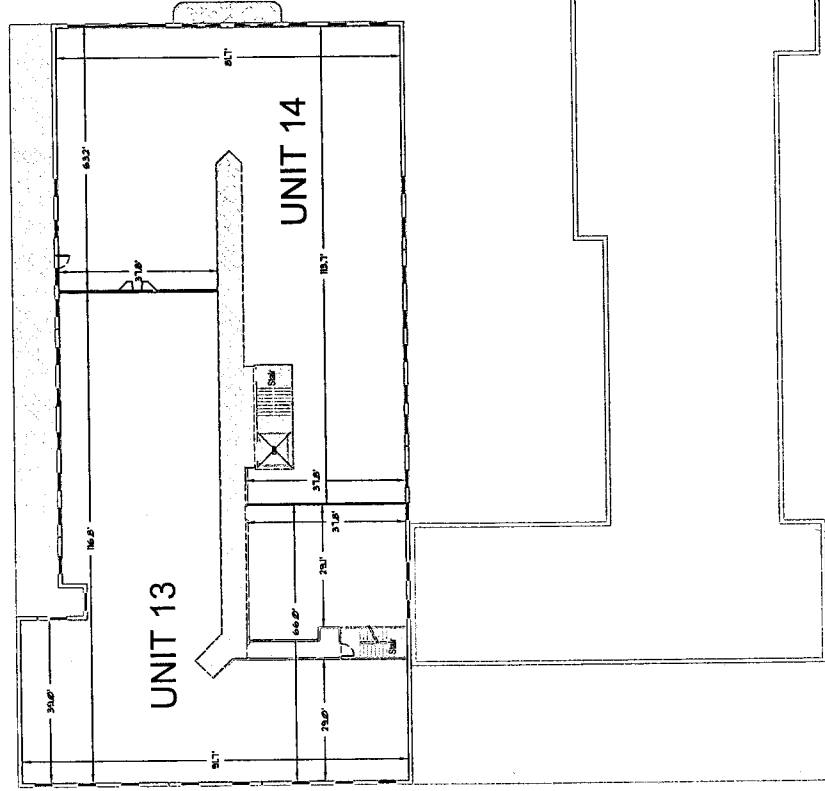
NOTE: COLLING, EXTERIOR WALLS, & BEARING WALLS IS DETERMINED COMMON SPACE
• IF OUTSIDE BALCONIES OCCUR WITHIN AREA SPACE IS DESIGNATED AS COMMON AREA
• IF THE EXTERIOR WALL TO THE INTERIOR OF THE EXTERIOR WALL TO THE INTERIOR OF THE DIVISION WALL
ALL DRAWINGS ARE PRE-CONSTRUCTION

SHEET 6 - SEVENTH & EIGHTH FLOOR (TYP.)
RECORD OF SURVEY
STATE STREET PLAZA CONDOMINIUM PLAT
235-251 SOUTH STATE STREET
SALT LAKE CITY,
SALT LAKE COUNTY, UTAH
LOCATED IN THE NORTHWEST QUARTER OF SECTION 06,
TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN.

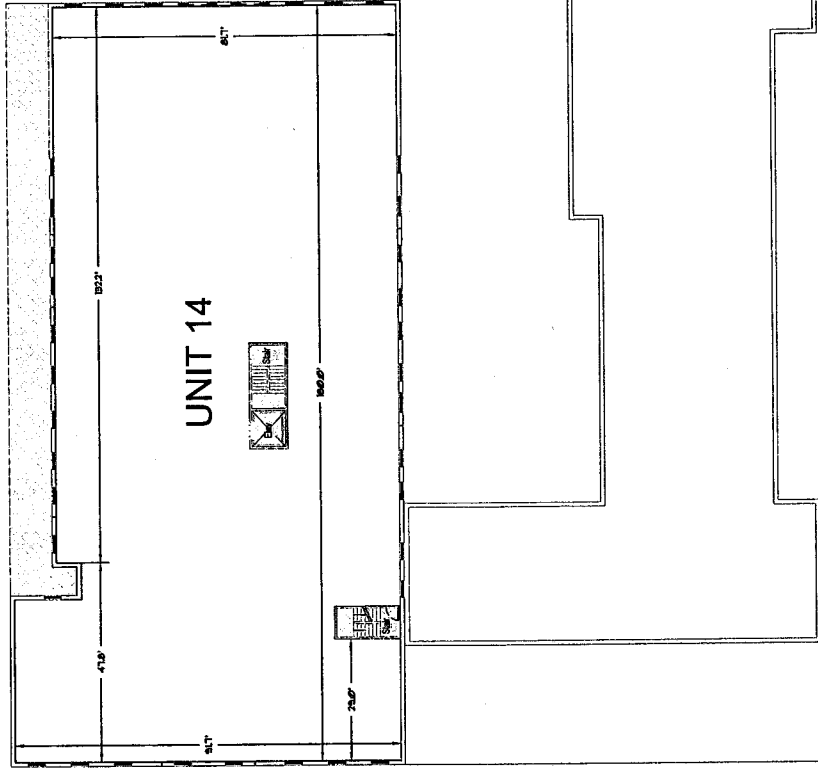
Recorded # _____
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Date _____ Time _____ Book _____ Page _____
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Salt Lake County Recorder

NUMBER _____
ACCOUNT _____
SHEET _____
OF _____ SHEETS

SHEET 7 = NINTH & TENTH FLOOR TYPICALS
STATE STREET PLAZA CONDOMINIUM PLAT

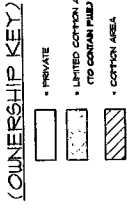


NINTH FLOOR TYPICAL
NINTH FLOOR UNIT 13 & 14



TENTH FLOOR TYPICAL
TENTH FLOOR UNIT 14

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SUITE 201
MIDVALE CITY, UTAH 84047
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FAX: (801) 495-2547



NOTE: COLUMNS, EXTERIOR WALLS, & BEARING WALLS IS DETERMINED COMMON SPACE
IF OUTSIDE BALCONIES OCCUR ON THIS LEVEL
BEFORE OWNERSHIP IS DETERMINED FROM THE INTERIOR OF THE EXTERIOR WALL TO THE INTERIOR OF THE DIVISION WALL
ALL DRAWINGS ARE PRE-CONSTRUCTION

SHEET 7 = NINTH & TENTH FLOOR TYPICALS
RECORD OF SURVEY
STATE STREET PLAZA CONDOMINIUM PLAT
235-251 SOUTH STATE STREET
SALT LAKE CITY
SALT LAKE COUNTY, UTAH
LOCATED IN THE NORTHWEST QUARTER OF SECTION 06,
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SALT LAKE BASE & MERIDIAN.

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State of Utah, County of Salt Lake, recorded and filed at the request of _____

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SHEET _____
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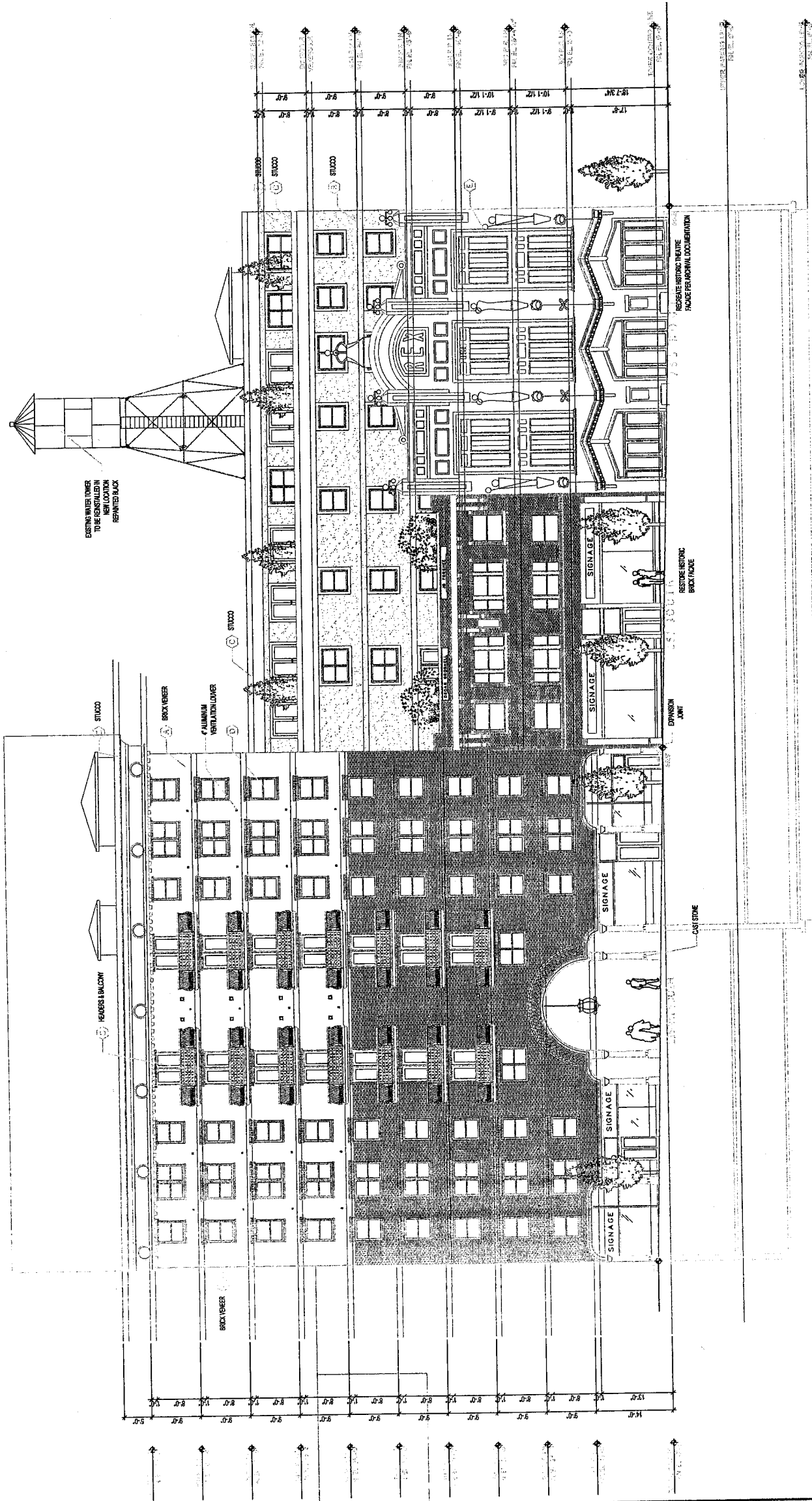
RECORD OF SURVEY
STATE STREET PLAZA CONDOMINIUM PLAT
235-251 SOUTH STATE STREET
SALT LAKE CITY
SALT LAKE COUNTY, UTAH
LOCATED IN THE NORTHWEST QUARTER OF SECTION 06,
TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN.

SHEET 8 = ELEVATION DRAWING
STATE STREET PLAZA CONDOMINIUM PLAT

STATE STREET PLAZA CONDOMINIUM PLAT

- PRIVATE
- LIMITED COMMON AREA TO CONTAIN PUD
- COMMON AREA

NOTE: COLUMNS, EXTERIOR WALLS, & BEARING WALLS IS DETERMINED OPTION SPACE DRAWINGS ARE PRE-CONSTRUCTION



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STATE STREET ELEVATION

SHEET 8 = FRONT ELEVATION DRAWING
RECORD OF SURVEY
STATE STREET PLAZA CONDOMINIUM PLAT
235-257 SOUTH SATE STREET
SALT LAKE CITY
SALT LAKE COUNTY, UTAH
LOCATED IN THE NORTHWEST QUARTER OF SECTION 06,
TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN.

RECORD OF SURVEY
STATE STREET PLAZA CONDOMINIUM PLAT
235-257 SOUTH SATE STREET
SALT LAKE CITY
SALT LAKE COUNTY, UTAH
LOCATED IN THE NORTHWEST QUARTER OF SECTION 06,
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SALT LAKE BASE & MERIDIAN.

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NUMBER _____
ACCOUNT _____
SHEET _____
OF _____ SHEETS