

# ADMINISTRATIVE HEARING STAFF REPORT

One Airport Center Phase II Preliminary  
Subdivision 490-07-57 located at approximately  
1250 North 2200 West  
February 26, 2008



Planning and Zoning  
Division  
Department of Community  
Development

**Applicant:**

The Boyer Company

**Staff:**

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Associate Planner  
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**Tax ID:**

08-28-200-008

**Current Zone:** BP (Business  
Park)

**Council District:**

District 1, Councilman  
Carlton Christensen

**Acreage:**

18.29 acres or 796,721 square  
feet

**Current Use:**

Vacant

**Applicable Land Use  
Regulations:**

- 20.20.020
- 21A.34.040.21.b  
Airport Influence  
Zone "B".

**Attachments:**

- A. Department  
Comments
- B. Preliminary Plat

**REQUEST**

The proposed subdivision is located at approximately 1102-1250 North and 2200 West and consists of approximately 18.29 acres. The applicant proposes to subdivide two parcels into Lots 7, 8, 9, 10, 11, and 12. The new lots areas range from 108,151 square feet to 139,823 square feet. The width of the six lots range from 208 feet to 397 feet.

The minimum required lot size in the BP Zoning District is 20,000 square feet, and the minimum lot width is 100 feet. All the new lots comply with the minimum area and lot width provisions as outlined by the Zoning Ordinance.

**PUBLIC NOTICE**

A public notice was mailed fourteen days before the public hearing and also signs were posted on the property.

**STAFF RECOMMENDATION:**

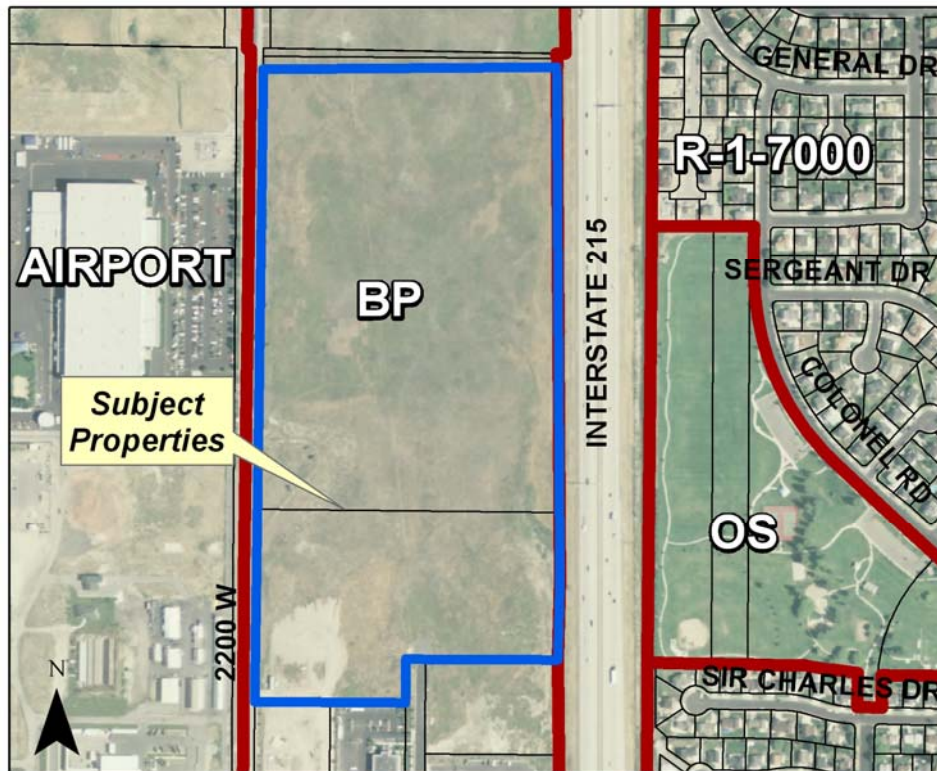
Planning Staff recommends that the Planning Director grant preliminary approval for the minor subdivision of One Airport Center Phase II at approximately 1102-1250 North and 2200 West based on the following findings:

1. All applicable City Departments have consented to the subdivision amendment, subject to compliance with the departmental comments stated in this Staff Report and all applicable city ordinances;
2. The subdivision will be in the best interest of the City.

**CONDITIONS OF APPROVAL**

1. Approval is conditional upon compliance with departmental comments as outlined in this staff report.
2. Identification of the fault line location and recommendation from the geotechnical engineer on building setback distances.
3. Any future development activities associated with this property will require that all city ordinances, requirements and processes are adhered to.
4. The Final recording document will be a Final Plat.

## VICINITY MAP



## COMMENTS

### City Department Comments

The comments received from pertinent City Departments/Divisions are attached to this staff report. The following is a summary of the comments received (see Exhibit A for the full review).

**Airport:** Mr. Miller from this department responded that the property is located in the Airport Influence Zone “B”, high noise impact zone. Salt Lake City requires an aviation easement for any new development in this zone.

**Building Services:** Larry Butcher from this division also commented that the site lies within the Airport Overlay District “B” and an aviation easement is required. He also commented that the fault study area is noted on Lots 7 & 12. A geotechnical report is required.

**City Engineering:** Mr. Drummond responded that the proposed subdivision will require dedication of right of-way for the extension of 2120 West and the 1100 North Street roadway. 2120 West and 1100 North will require curb, gutter, sidewalk and full street asphalt paving, and 2200 West will require curb, gutter, sidewalk and asphalt strip paving. The work requires full improvement plans showing curb, gutter, sidewalk, and asphalt paving on all streets. The project also requires the removal of the existing temporary cul-de-sac at the north end of 2120 West, and install a temporary turn-around at the north end of the proposed 2120

West. The same pavement section will be required in 2200 West and the interior streets as was installed for Phase 1. The developer must enter into a subdivision improvement construction agreement. This agreement requires the payment of a stepped fee based on the estimated cost of constructing the roadway improvements. The Salt Lake City Transportation Division must review and approve street geometrics and street lighting. A certified address must be obtained prior to obtaining a building permit. The construction contractor must file a Notice of Intent with the State of Utah, Department of Environmental Quality, and Division of Water Quality, to comply with the NPDES permitting process. A copy of the pollution prevention plan must also be submitted to Salt Lake City Public Utilities Department for review and approval. Additional specific construction instructions are detailed in Attachments A

**Fire Department:** Ted Itchon provided an extensive list regarding this subdivision (see Exhibit A, Department Comments).

**Public Utilities:** Mr. Niermeyer from the Department of Public Utilities provided extensive comments regarding this subdivision and all Public Utilities' requirements that must be met in order to receive approval for this project from this Department. Prior to full plan set approval and plat recordation all utility fees must be paid in full. A \$374 per quarter acre drainage impact fee will be assessed on the platted area for this development. Please see details in Attachments A.

**Property Management:** No comments were received from this department.

**Transportation:** Mr. Walsh from the Transportation Department commented that the phase one plat temporary turn around needs to be removed and replaced at the north end of Flyer Way 2120 West extension. Also, that a full set of Civil Plans are required for public way improvements to Salt Lake City Corporation design standards for roadway pavement, curb & gutter, sidewalk, street lighting, utilities, etc.

## **Staff Analysis and Findings**

### **Project History**

The parcels proposed to be subdivided were part of the One Airport Center Phase I. The parcels in question are proposed to be subdivided into six new lots into One Airport Center Phase II.

### **Master Plan Discussion**

The parcel is located in the Northwest Community. The Master Plan for this area calls for the continuing use of the area as an industrial area. Business Parks are usually located within the industrial areas, and the parcel in question is designated as BP (Business Park) Zoning District, which is consistent with the Future Land Use Map of the area's Master Plan.

### **Standards for Approval**

If no objection is received as required by section 20.20.080 of the Subdivision Ordinance of the Salt Lake City Code, the planning director, or designee, may, at the administrative consideration, approve the proposed minor subdivision if the planning director, or designee, finds that:

**A. The general character of the surrounding area shall be well defined and the minor subdivision shall conform to this general character.**

*Finding:* The subject property is located in the Northwest Community Planning District. The base zoning of the property is BP, Business Park District. The zone allows business parks as permitted uses. Therefore the proposal conforms to the general character of the surrounding area, which are also zoned BP, Business Park District.

**B. Lots created shall conform to the applicable requirements of the zoning ordinances of the City.**

*Finding:* The applicant proposes to subdivide both parcels into Lots 7, 8, 9, 10, 11 and 12. All lots comply with the minimum applicable requirements of the City's Zoning Ordinance. Additional requirements by the different City departments must be addressed in concordance with City codes and regulations.

**C. Utility easements shall be offered for dedication as necessary. (See attached comments)**

*Finding:* The applicant must satisfy all of the requirements set forth by Public Utilities, Engineering, and the Transportation Divisions as described in Attachments A.

**D. Water supply and sewage disposal shall be satisfactory to the City Engineer.**

*Finding:* The applicant will work with Public Utilities to obtain the appropriate approvals and ensure that all connections for water and sewer are met adequately and properly.

**E. Public improvements shall be satisfactory to the Planning Director and City Engineer.**

*Finding:* The proposed minor subdivision has been reviewed by all of the pertinent City departments as to the applicable laws and regulations. The departmental comments for approval of this minor subdivision are included in this staff report.

In addition, if no objection is received, the Planning Director, or their designee, may at the administrative consideration, approve the proposed minor subdivision if the Planning Director, or designee, finds that:

- A. The subdivision will be in the best interest if the City;
- B. All lots comply with all applicable zoning standards;
- C. All necessary and required dedications are made;
- D. Provisions for the construction of any required public improvements are included;
- E. The subdivision otherwise complies with all applicable laws and regulations;
- F. The minor subdivision does not materially injure the public or any person and there is good cause for the subdivision.

*Finding:* The request is consistent with the Section 20.20.020 and 21A.36.010E of the City Code based on the comments, analysis and findings in this report.

Planning Director's Recommendation: \_\_\_\_\_ By: \_\_\_\_\_

Approval Subject To:

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Date Completed: \_\_\_\_\_

# Attachments A Department Comments

# Attachments B Preliminary Plat