

**OFFICE USE ONLY**

Date Filed: 02/08/16  
 Amount/Fee: 600.00  
 Receipt No: \_\_\_\_\_  
 Received By: KID  
 30 Days: \_\_\_\_\_  
 Deemed Incomplete: \_\_\_\_\_  
 Deemed Complete: \_\_\_\_\_  
 120 Day Deadline: \_\_\_\_\_



## LAND USE APPLICATION

**OFFICE USE ONLY**

Stamp Date Received  
**RECEIVED**

FEB 08 2016

**PLANNING**

File No: SPR 2016-01

**APPLICATION TYPE**

<input type="checkbox"/> ANNEXATION	<input type="checkbox"/> LOT LINE ADJUSTMENT	<input checked="" type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> APPEAL OF PLANNING COMMISSION DECISION	<input type="checkbox"/> MINOR PARTITION	<input type="checkbox"/> SUBDIVISION
<input type="checkbox"/> APPEAL OF PLANNING DEPARTMENT DECISION	<input type="checkbox"/> NATURAL RESOURCE DEVELOPMENT REVIEW	<input type="checkbox"/> URBAN GROWTH BOUNDARY AMENDMENT
<input type="checkbox"/> COMPREHENSIVE PLAN & ZONING MAP AMENDMENT	<input type="checkbox"/> NATURAL RESOURCE DEVELOPMENT VARIANCE	<input type="checkbox"/> VACATION
<input type="checkbox"/> COMPREHENSIVE PLAN &/OR ZONING ORDINANCE TEXT AMENDMENT	<input type="checkbox"/> PLANNED UNIT DEVELOPMENT PRELIMINARY MASTER PLAN	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> CONDITIONAL USE PERMIT	<input type="checkbox"/> PLANNED UNIT DEVELOPMENT FINAL MASTER PLAN	<input type="checkbox"/> OTHER _____

NAME OF APPLICANT: Douglas Strickland  
 MAILING ADDRESS: PO Box 480  
 CITY: Neotsu STATE: OR. ZIP: 97364  
 DAYTIME PHONE: 5-41 920 1600 Signature: D. Strickland  
 EMAIL (OPTIONAL): maxwells@charter.net

**OWNER OF RECORD (if other than applicant)**

NAME: SAMP  
 MAILING ADDRESS: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_  
 DAYTIME PHONE: \_\_\_\_\_ Signature: \_\_\_\_\_  
 EMAIL (OPTIONAL): \_\_\_\_\_

**APPLICANT AND/OR OWNER'S INTEREST IN PROPERTY SUBJECT TO REQUEST:**

☐ AGENT, ☒ FEE OWNER, ☐ CONTRACT PURCHASER, ☐ OPTION HOLDER, ☐ LESSEE, ☐ OTHER

PROJECT LOCATION: 2850 NE Hwy 101 Lincoln City

PROJECT ADDRESS: \_\_\_\_\_

ASSESSOR'S MAP NO.: 07-11-11-BB TAX LOT(S): 01100

AREA: 41 (acres) SQ. FT.: \_\_\_\_\_ ZONING: GC

1,000

**SITE PLAN REVIEW  
EVIDENCE TO SUPPORT OF FINDINGS OF FACT**



**PROJECT DESCRIPTION**

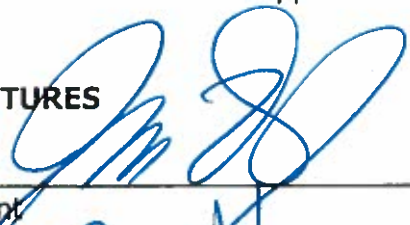
Describe the project including the type of use, number of dwellings, square footage of existing and proposed buildings, etc. Attach sheets if necessary.

New wood frame 4 plex and  
one office space. 3420 SF Total  
For 4-Plex and 288 SF For  
Office Space. This projects replaces  
a tear down of an old single  
family residence.

**APPLICANT'S VERIFICATION**

I (We) hereby declare under penalty of perjury under the laws of the State of Oregon that the information in this application and its attachments is true, complete, and correct.

**SIGNATURES**

  
Applicant

2-8-16  
Date

  
Property Owner

2-8-16  
Date

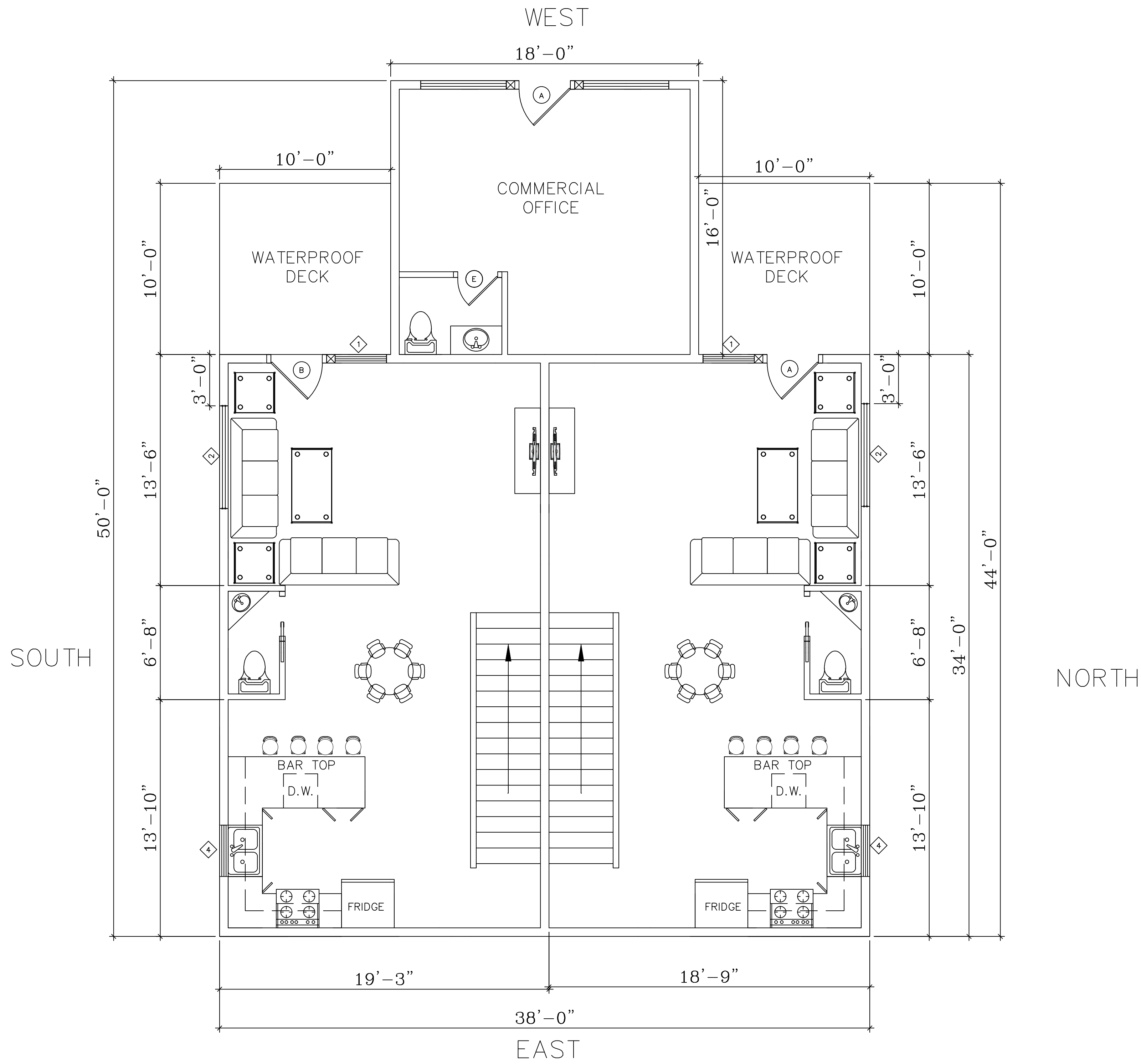
Property Owner

Date



2ND FLOOR FLOOR PLAN

SCALE : 1/4" = 1'-0"



WINDOWS — VINYL						
SYM	SIZE W x H	MANUF	HDR HT	GLAZING	OPER	QUAN
1	3-0X4-0	CHK W/ OWNER	6'-8"		S.H.	2
2	6-0X4-0	CHK W/ OWNER	6'-8"		XO	4
3	2-0X3-0	CHK W/ OWNER	6'-8"		S.H.	2
4	3-0X3-6	CHK W/ OWNER	6'-8"		CASE	2
5	6-0X1-6	CHK W/ OWNER	6'-8"		XO	4
6	6-0X3-0	CHK W/ OWNER	6'-8"		XO	4

DOORS						
SYM	SIZE W x H	CORE	MAT	HRDWRE	FINISH	QUAN
A	3-0X6-8	S.C.	CHK W/ OWNER	L.H.	CHK W/ OWNER	2
B	3-0X6-8	S.C.	CHK W/ OWNER	R.H.	CHK W/ OWNER	2
C	9-0X7-0	S.C.	CHK W/ OWNER	GARAGE	CHK W/ OWNER	2
D	2-4X6-8	S.C.	CHK W/ OWNER	R.H.	CHK W/ OWNER	4
E	2-4X6-8	S.C.	CHK W/ OWNER	L.H.	CHK W/ OWNER	4
F	2-8X6-8	S.C.	CHK W/ OWNER	R.H.	CHK W/ OWNER	3
G	2-8X6-8	S.C.	CHK W/ OWNER	L.H.	CHK W/ OWNER	3
H	2-4X6-8	S.C.	CHK W/ OWNER	POCKET DOOR	CHK W/ OWNER	3

2ND FLOOR=646 SQ FT  
3RD FLOOR=646 SQ FT  
TOTAL PER UNIT=1292 SQ FT

REVISIONS BY:	
S.TUIL	11-23-15
S.TUIL	02-05-16

COAST DRAFTING & DESIGN  
325 SW. HIGHWAY 101  
LINCOLN CITY, OR 97367  
PH: (541) 996-6131 FAX: (541) 996-4306

STRICKLAND DOUG & MARAYA  
2ND FLOOR FLOORPLAN

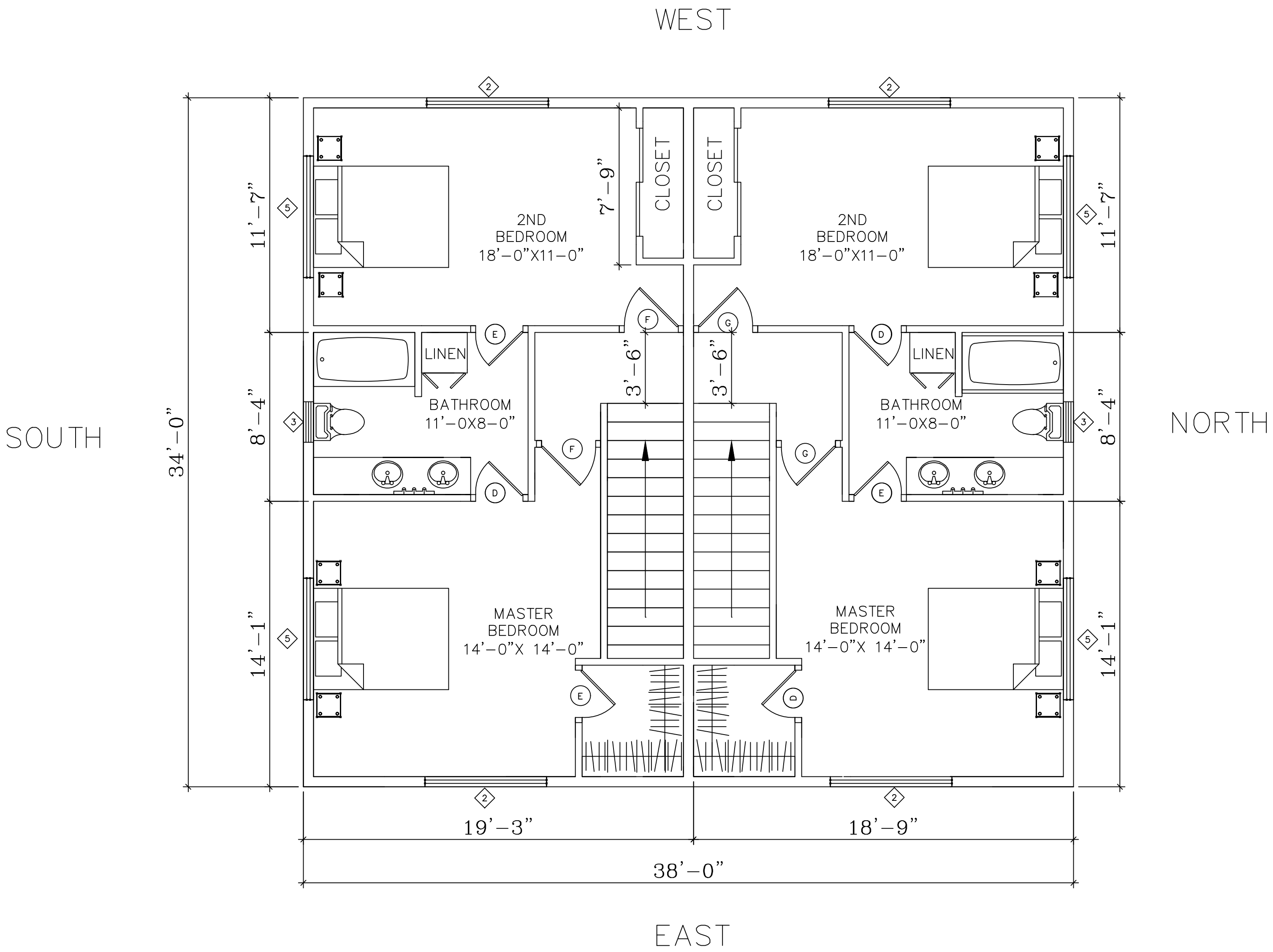
DRAWN: SHALOM TUILL
DATE:
SCALE: AS NOTED
JOB:

SHEET 5 OF 6  
SHEETS

3RD FLOOR FLOOR PLAN

SCALE : 1/4" = 1'-0"

2ND FLOOR=646 SQ FT  
3RD FLOOR=646 SQ FT  
TOTAL PER UNIT=1292 SQ FT



WINDOWS -- VINYL						
SYM	SIZE W x H	MANUF	HDR HT	GLAZING	OPER	QUAN
1	6'-0x6'-10	CHK W/ OWNER	6'-8"		SLIDER	2
2	6'-0x4'-0	CHK W/ OWNER	6'-8"		XO	6
3	2'-0x3'-0	CHK W/ OWNER	6'-8"		S.H.	2
4	2'-0x3'-0	CHK W/ OWNER	6'-8"		CASE	2
5	6'-0x1'-6	CHK W/ OWNER	6'-8"		XO	4
6	6'-0x3'-0	CHK W/ OWNER	6'-8"		XO	2

DOORS							
SYM	SIZE W x H	CORE	MAT	HRDWRE	FINISH	QUAN	REMARKS
A	3'-0x6'-8	S.C.	CHK W/ OWNER	L.H	CHK W/ OWNER	2	D.BORE
B	3'-0x6'-8	S.C.	CHK W/ OWNER	R.H.	CHK W/ OWNER	2	20 MIN
C	9'-0x7'-0	S.C.	CHK W/ OWNER	GARAGE	CHK W/ OWNER	2	D.BORE
D	2'-4x6'-8	S.C.	CHK W/ OWNER	R.H.	CHK W/ OWNER	4	D.BORE
E	2'-4x6'-8	S.C.	CHK W/ OWNER	L.H	CHK W/ OWNER	4	D.BORE
F	2'-8x6'-8	S.C.	CHK W/ OWNER	R.H.	CHK W/ OWNER	3	D.BORE
G	2'-8x6'-8	S.C.	CHK W/ OWNER	L.H	CHK W/ OWNER	3	S.BORE
G	2'-4x6'-8	S.C.	CHK W/ OWNER	POCKET DOOR	CHK W/ OWNER	3	S.BORE

REVISIONS BY:	
S.TUIL	11-23-15
S.TUIL	02-05-16

COAST DRAFTING & DESIGN

325 SW. HIGHWAY 101

LINCOLN CITY, OR 97367

PH: (541) 996-6131 FAX: (541) 996-4306

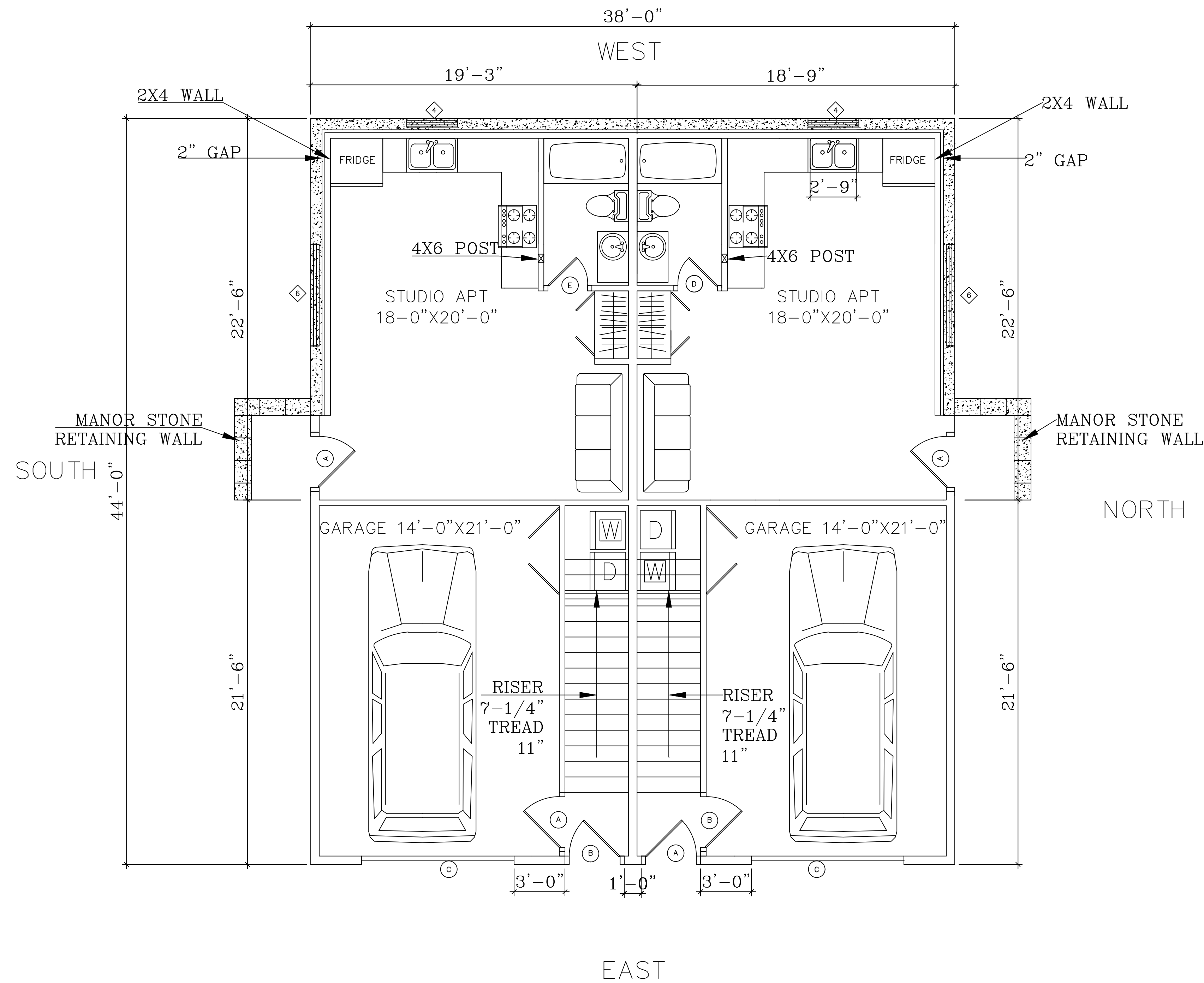
STRICKLAND DOUG & MARAYA

3RD FLOOR FLOORPLAN

DRAWN:SHALOM TUIL	
DATE:	
SCALE: AS NOTED	
JOB:	
SHEET 6 OF 6 SHEETS	

# GARAGE

SCALE : 1/4" = 1'-0"



WINDOWS — VINYL							
SYM	SIZE W x H	MANUF	HDR HT	GLAZING	OPER	QUAN	REMARKS
1	3-0X5-0	CHK W/ OWNER	6'-8"		S.H.	3	
2	6-0X4-0	CHK W/ OWNER	6'-8"		XO	6	
3	2-0X3-0	CHK W/ OWNER	6'-8"		S.H.	2	
4	3-0X3-6	CHK W/ OWNER	6'-8"		CASE	4	
5	6-0X1-6	CHK W/ OWNER	6'-8"		XO	4	
6	6-0X3-0	CHK W/ OWNER	6'-8"		XO	4	

DOORS							
SYM	SIZE W x H	CORE	MAT	HRDWRE	FINISH	QUAN	REMARKS
A	3-0X6-8	S.C.	CHK W/ OWNER	L.H.	CHK W/ OWNER	2	D.BORE
B	3-0X6-8	S.C.	CHK W/ OWNER	R.H.	CHK W/ OWNER	2	20 MIN
C	9-0X7-0	S.C.	CHK W/ OWNER	GARAGE	CHK W/ OWNER	2	D.BORE
D	2-4X6-8	S.C.	CHK W/ OWNER	R.H.	CHK W/ OWNER	4	D.BORE
E	2-4X6-8	S.C.	CHK W/ OWNER	L.H.	CHK W/ OWNER	4	D.BORE
F	2-8X6-8	S.C.	CHK W/ OWNER	R.H.	CHK W/ OWNER	3	D.BORE
G	2-8X6-8	S.C.	CHK W/ OWNER	L.H.	CHK W/ OWNER	3	S.BORE
G	2-4X6-8	S.C.	CHK W/ OWNER	POCKET DOOR	CHK W/ OWNER	3	S.BORE

STUDIO=418 SQ FT.

COAST DRAFTING & DESIGN  
325 SW. HIGHWAY 101  
LINCOLN CITY, OR 97367

PH: (541) 996-6131 FAX: (541) 996-4306

STRICKLAND DOUG & MARAYA

GARAGE

DRAWN: SHALOM TUIL  
DATE:  
SCALE: AS NOTED  
JOB:  
SHEET 4 OF 6  
SHEETS



## GENERAL NOTES

These plans were designed to conform to the latest edition of the Uniform Building Code at the time the plans were drawn. Constant changes in building codes, both locally and nationally, in addition to changes in environmental qualifications and local options for plumbing, heating/cooling and wiring, make conformity to all building restrictions impossible. Consequently, the use of these plans is subject to local code requirements and interpretations. It is the responsibility of the user to evaluate these plans for conformity to local code requirements. Any additional design or drawing services required by local code are subject to Coast Drafting & Design standard service fees.

The Contractor shall verify all dimensions and conditions prior to beginning any work and notify owner of any discrepancies.

Written dimensions shall take precedence over scaled dimensions. DO NOT SCALE DRAWINGS.

Coast Drafting & Design does not guarantee the availability of any manufactured product suggested or specified on the plans or specifications. The builder is advised to verify the availability of all manufactured products before proceeding with construction, especially those items affecting rough opening dimensions or other dimensions on the plans. All manufactured materials, components, fasteners, assemblies, etc., shall be handled and installed in conformance with manufacturers specifications and instructions. Where specific products are called for, generic equivalents which meet applicable standards and specifications may be used.

In event of a conflict between applicable codes and regulations, and reference standards of these plans and specifications, the more stringent provisions shall govern.

No variation required by a Building Official shall be binding on the Designer.

Specifications and drawings indicate finished structure. Builder shall be responsible for construction methods, procedures and conditions except as specifically indicated otherwise in contract documents.

No amendments or modifications to these documents or the building they represent shall be made without the consent of the owner and Coast Drafting & Design.

Any discrepancies shall be brought to the immediate attention of Coast Drafting & Design.

All drawings and designs are to remain the sole property of Coast Drafting & Design. Any use of these drawings other than the one contracted is expressly prohibited.

## FOUNDATIONS:

- Footings shall bear on firm, undisturbed soil a minimum of 6" below the finish grade line and 8" below the line of the original grade for one and two story structures, and 12" below finish grade for three-story structures, unless otherwise noted.
- Foundation and footing sizes are based on a maximum allowable soil bearing pressure of 1500psf. Verify local conditions and notify owner of any discrepancy.
- Do not excavate greater than a 2:1 slope below footings.
- Footings to extend below frost line or 18" below finish grade, whichever is greater.

## CONCRETE:

- All foundation wall and footing concrete shall develop a minimum compressive strength of 2500 psf @ 28 days.
- All concrete slabs shall develop a minimum compressive strength of 2500psf at 28 days.
- Concrete formwork, shoring and pouring methods shall conform to current A.C.I. standards.
- Apply "PARASEAL" or equal foundation coating on all exterior faces of walls below grade.

## REINFORCING STEEL:

- All reinforcing steel shall be deformed steel bars conforming to ASTM A615, GRADE 40.
- All reinforcing steel shall be manufactured, detailed, fabricated and placed in accordance with ACI 318R, ACI 315R, AND ACI SP 66.
- Welded wire fabric shall conform to ASTM A185, in as long a length as is practical. Welded wire fabric shall be lapped at least one grid width plus 2".
- Reinforcement shall be bent cold and shall not be welded.
- Splices:

Reinforcement in concrete and masonry shall have lap lengths as follows, unless otherwise specified on drawings.

Bar Size	In Concrete:	In Masonry:
#3	1'-6"	2'-0"
#4	2'-0"	2'-6"
#5	2'-6"	3'-0"

- Reinforcement shall be accurately placed and supported by concrete, metal or other approved chairs, spacers, or ties and secure against displacement during concrete or grout placement.
- Except where otherwise noted, reinforcement shall have concrete cover as follows:
  - Concrete deposited against earth 3"
  - Formed concrete against earth 2"
  - Exterior faces of walls 2"
  - Interior faces of walls 3/4"
  - To top of slab-on-grade 3/4"

## WOOD FRAMING:

All solid sawn lumber shall be Douglas Fir / Larch, installed as noted on the plans and connected as specified in nailing schedule below. Lumber shall be as graded in accordance with current Western Wood Products Association (WWPA) standard grading rules. Lumber grades for uses to be:

A. Posts, Beams & Headers	#2 or better
B. Floor, Ceiling Joists, & Rafters	#2 or better
C. Sills, Plates & Blocking	#3
D. Studs	D.F. "stud" ( 6" exterior & 4" interior U.O.N.)
E. 2" T&G Sub-Floor Decking	1/2" C-D ext. glue
F. Wall & Roof Sheathing	Plywood 32/16
G. Sub-Floor over Joists	3/4" underlayment grade plywood (Ext.)
H. Glu-Laminated Beams	FB =2,000 psi
A.I.T.C. Industrial Grade with dry use adhesive.	FV =165 psi
(Wet use adhesive for exterior use)	E =1,600,000 psi

Solid sawn lumber at visually exposed locations shall be #2 & better grade. All exterior wall & interior bearing wall openings shall have 4 x 10 #2 D.F. headers unless otherwise noted.

## INSULATION:

Roof:

Vaulted Areas are Under 50% R-30

Flat Ceilings & over 50% Vaulted R-38

Exterior Walls

2x6 Studs R-21

Floors over unheated spaces R-30

Basement walls R-21

Slab floor edge insulation R-15

Forced air duct insulation R-8

Countersunk floor & floors over garages R-30

Windows:

U= 0.40

Skylights <2% U= 0.50

Doors other than main entry U= 0.20

Main entry door, Maximum 24 sq. ft.

## DESIGN LOADS

DEAD LOADS:

Roof, with shakes/shingles 15 psf

Roof, with clay/concrete tiles 25 psf

Decks 10 psf

Floor 10 psf

LIVE LOADS:

Floor 40 psf

Stairs 100 psf

Decks 60 psf

Garage 50 psf or 2000 pt.l.d.

Roof 20 psf

## NAILING SCHEDULE:

CONNECTION:

Joist to Sill or Beam	(3) 8d Toe Nailed or (2) 16d
Bridging to Joists	(2) 8d Toe Nailed Ea. End
2" T&G Decking/Sub-Floor to Beams	(2) 16d Toe Nail Thru Tongue
Rim Joist to Joists	(3) 16d Face Nailed
Studs to sole plate	(2) 16d Face Nailed Ea. End
Sole Plate to Joists or Blocking	(1) 16d at 16" o.c. Face Nailed
Sole Plate or Top Plate to Studs	(2) 16d Face Nailed
Double Top Plate	(1) 16d at 16" o.c. Face Nailed
Double Studs	(1) 16d at 24" o.c. Face Nailed
Corner Studs	(1) 16d at 24" o.c. Face Nailed
Top Plates At Laps & Intersection	(2) 16d Face Nailed
Headers to Top Plates	(1) 16d at 16" o.c. Face Nailed
Ceiling Joists to Plates	(3) 8d Toe Nailed or (2) 16d
Joist Laps over Partitions	(3) 16d Face Nailed
Ceiling Joists to Plates	(3) 16d Face Nailed
Rafters to Top Plate	(3) 8d Toe Nailed with "Simpson"
Plywood Sub-Floor to Joists	H-2.5 Connectors-Verify
Plywood Wall & Roof Sheathing	(1) 8d Common at 6" o.c. at edges & 12" o.c. in field

## NAILING SCHEDULE NOTES:

- All frame walls shall have stud framing placed at 16"o.c. except where otherwise noted.
- Top plates shall be doubled on all walls except where otherwise noted.
- Trimmers under all headers shall be continuous to sole plate.
- Block all stud walls as required for sheathing.
- Beams, girders and joists supporting bearing walls or concentrated loads shall not be notched.
- All joists shall have a minimum of 1-3/4" bearing @ supports.
- Lap all joists a minimum of 6" each way @ all interior bearing supports.
- Mud sills and ledger boards at concrete walls shall have anchoring bolts of the size and spacing shown on the drawing. Each board shall be secured with at least two bolts and each board shall have a bolt within 12" of each end.
- Cover surfaces behind siding, shingles and where indicated on drawings with 15# felt, or and approved equivalent product.
- Provide framing at all roof & floor diaphragm penetrations unless otherwise noted on plans.

## MISCELLANEOUS:

- Contractor shall verify all conditions and dimensions prior to beginning work and shall notify owner of any discrepancy.
- Contractor shall be responsible for any variations or deviations from the plans without written confirmation from Designer.
- Contractor shall provide adequate bracing or otherwise support all portions of the structure until all members have been permanently connected together.
- Plumbing diagrams or drawings shall be provided by the plumbing contractor.
- Heating/Cooling duct diagrams or drawings shall be provided by the heating/cooling contractor.
- Heat loss or energy use calculations shall be provided by heating cooling contractor or other professional as required by Building Official.
- Truss design, engineering and plans shall be provided by truss manufacturer.
- Each bedroom shall have at least one window with a sill height of no more than 44" above the floor.
- Smoke detectors shall be connected to house power, in series.
- Tub and tub/shower enclosures to have 1/2" water resistant gypsum board and a hard, moisture resistant surface up to 6'-0" above floor (min.)
- All exhaust fans,range hoods and dryers shall vent to the outside through sheet metal ducts. Caulk around all penetrations through exterior envelope.
- All windows, patio doors and doors with glass shall be double glazed insulating units with wood or thermally broken aluminum frames and sashes.
- All glass within 24" of a door and/or within 18" of the floor or a walkway shall have tempered glazing.
- All wood in permanent contact with concrete or soil shall be pressure treated with a water bourne preservative.
- All exterior walls & walls common to unheated spaces shall be 2x6 studs @ 16" o.c. with R-21 insulation unless otherwise noted on the plans.
- All interior walls shall be 2x4 studs @ 16" o.c. U.O.N.
- Provide 1 hr. fire wall between garage and living areas, and under all stairs where storage space is available.
- All doors between garage and living areas shall be 20 min. fire rated assemblies with 1-3/4" solid core wood doors or code approved equivalents and self-closing mechanisms.
- Please call this office at (541) 996-6131 for any questions relating to these plans.

## OWNER INFORMATION:

DOUG & MARAYA STRICKLAND  
P.O. BOX 480  
NEOTSU, OR 97364

## SITE INFORMATION:

MAP: 07-11-11-BB  
TAX LOT: 01100  
ADDRESS: 2852 NE HWY 101  
LINCOLN CITY, OR 97367  
TOTAL LOT: 16,988 SQ FT.  
BUILDING AREA: 1960 SQ FT

LOT COVERAGE: 10%  
AVE. BUILDING HEIGHT: 33'-6"



## ELEVATIONS

SCALE : 1/8" = 1'-0"

REVISIONS BY:

SHALOM TUIL 11-23-15

SHALOM TUIL 02-05-16

COAST DRAFTING & DESIGN

325 SW. HIGHWAY 101

LINCOLN CITY, OR 97367

PH: (541) 996-6131 FAX: (541) 996-4306

STRICKLAND DOUG & MARAYA

ELEVATION

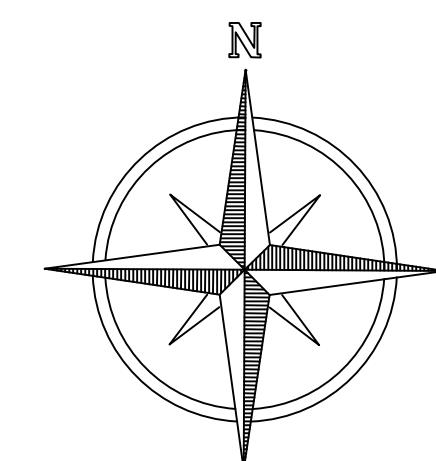
DRAWN: SHALOM TUIL

DATE: 11/20/2015

SCALE: AS NOTED

JOB:

SHEET 1 OF 6  
SHEETS

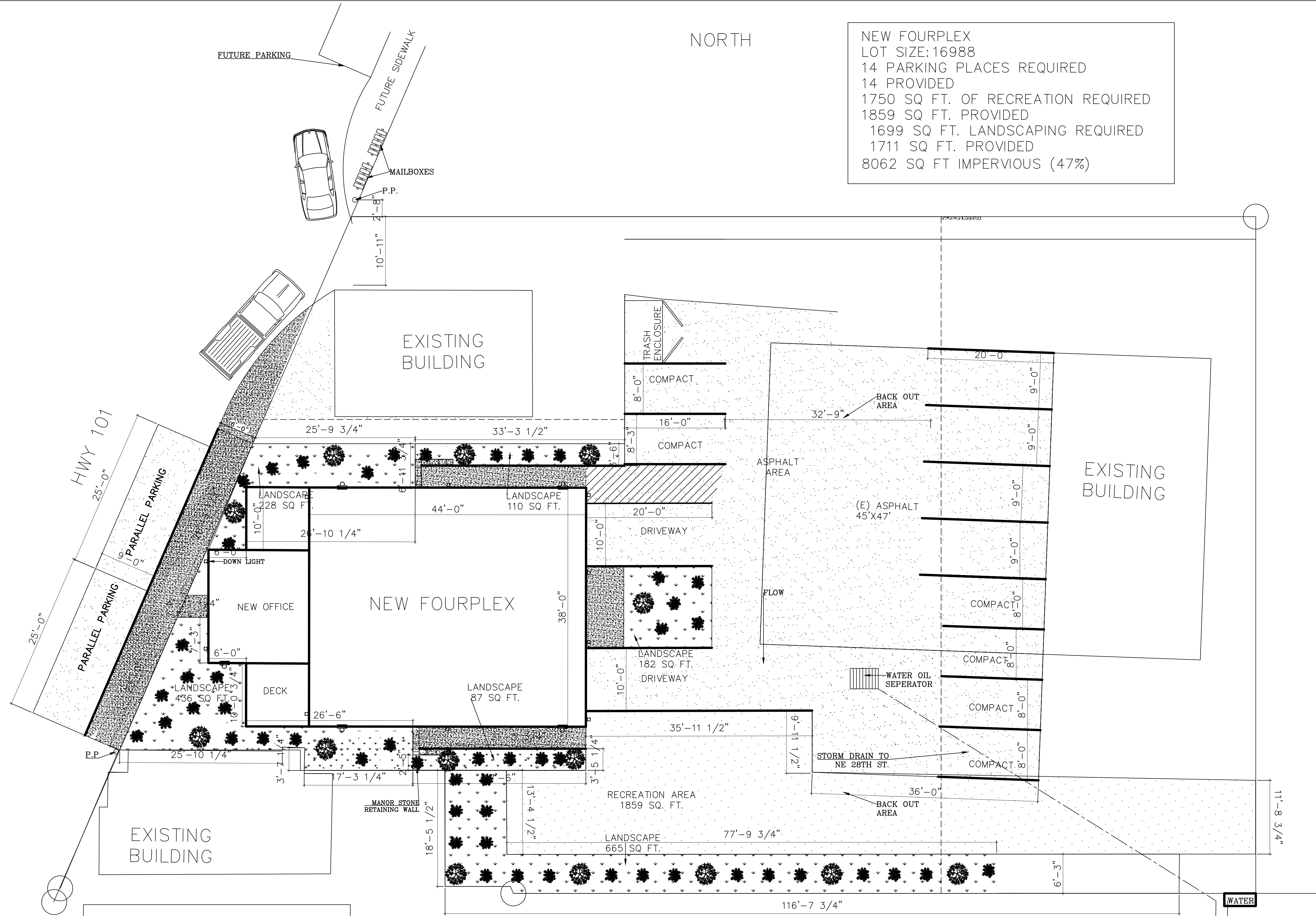


WEST

NORTH

EAST

SOUTH



NEW FOURPLEX  
LOT SIZE: 16988  
14 PARKING PLACES REQUIRED  
14 PROVIDED  
1750 SQ. FT. OF RECREATION REQUIRED  
1859 SQ. FT. PROVIDED  
1699 SQ. FT. LANDSCAPING REQUIRED  
1711 SQ. FT. PROVIDED  
8062 SQ. FT. IMPERVIOUS (47%)

# LANDSCAPE PLAN

SCALE : 1/8" = 1'-0"

DROUGHT RESISTANT NATIVE SHRUBS @ 5' O.C.  
DROUGHT RESISTANT NATIVE TREES @ 20' O.C.  
RETAIN AS MUCH VEGETATION AS POSSIBLE

REVISIONS BY:	
SHALOM TUIL	11-23-15
SHALOM TUIL	02-05-16

COAST DRAFTING & DESIGN  
325 SW. HIGHWAY 101  
LINCOLN CITY, OR 97367  
PH: (541) 996-6131 FAX: (541) 996-4306

STRICKLAND DOUG & MARAYA  
LANDSCAPE PLAN

DRAWN: SHALOM TUIL	
DATE:	11-20-15
SCALE:	AS NOTED
JOB:	