



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: April 2, 2009 **REPORT NO. PC-09-019**

ATTENTION: Planning Commission, Agenda of April 9, 2009

SUBJECT: COMMUNITY WELLNESS CENTER - PROJECT NO. 129854
PROCESS FIVE

REFERENCE: Planning Commission Report No. PC-06-005
<http://www.sandiego.gov/planning-commission/pcreports/pc05006palomar.pdf>

OWNER: Palomar Pomerado Health (PPH), Michael H. Covert (Attachment 15)

APPLICANT: MetroPlan, LLC., Richard L. Miller

SUMMARY

Issue(s): Should the Planning Commission recommend approval to the City Council for a two-story Outpatient Clinic/Medical Office Building and a one-story Wellness Center located at 12855 Black Mountain Road within the Rancho Penasquitos Community Plan?"

Staff Recommendations:

1. Recommend **APPROVAL** to the City Council a resolution stating for the record that the City of San Diego as the responsible agency under the California Environmental Quality Act (CEQA) has reviewed and considered the Mitigated Negative Declaration prepared by Palomar Pomerado Health (PPH), and adopt the Mitigation, Monitoring and Reporting Program (MMRP);
2. Recommend **APPROVAL** to the City Council of a General/Community Plan Amendment from 'Religious Facility' to 'General Institutional'.
3. Recommend **APPROVAL** to the City Council of a Rezone from RS-1-4 to IL-3-1.
4. Recommend **APPROVAL** to the City Council of Water Easement Vacation No. 447488.

5. Recommend **APPROVAL** to the City Council of Site Development Permit No. 447403; AND
6. Recommend **APPROVAL** to the City Council of Planned Development Permit No. 447402.

Community Planning Group Recommendation: On June 4, 2008, the Rancho Penasquitos Community Planning Board voted to recommend approval by a vote of (14-0-1) with 10 conditions of approval (Attachment 14).

Environmental Review: A Mitigated Negative Declaration (MND) has been prepared by Palomar Pomerado Health (PPH) as Lead Agency in accordance with the California Environmental Quality Act (CEQA) guidelines, which addressed the potential impacts to Air Quality, Biological Resources, Archaeological Resources, and Noise. The City of San Diego, as the Responsible Agency under CEQA, has reviewed and considered the MND, State Clearing House No. 2007051052, dated June 20, 2007. Staff has determined that the MND adequately addresses issues related to the project. A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project to reduce the impacts to a level below significance.

Fiscal Impact Statement: No cost to the City. A deposit account funded by the applicant recovers all costs associated with the processing of the project application.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The proposed project would have a neutral impact on housing. The Rancho Penasquitos Community Plan designates this site as 'Religious Facility' with the proposed project requesting a land use designation change to 'General Institutional'. The request includes the development of a total of 51,500 square feet of medical/clinic/office uses and would not remove or add any housing to the Rancho Penasquitos community. Therefore, the proposed project would not result in an increase or decrease in existing or potential housing units.

BACKGROUND

The project is located on a 4.45 acre developed site located at 12855 Black Mountain Road within the Rancho Penasquitos Community Plan Area (Attachment 3). The 4.45 acre site is currently developed with one large building and associated parking to accommodate a church, primary school and child care center which was approved under Conditional Use Permit (CUP) No. 4792. The project site is currently vacant with no users within the existing building. The building was previously used by Maranatha Chapel, a California nonprofit religious corporation. The two-story Maranatha Chapel structure is located in the southwestern portion of the site. Paved parking areas and landscaping are located to the west and north of the existing building. Vacant land exists on the eastern portion of the site.

On January 19, 2006, the Planning Commission approved initiation of a proposed amendment that would re-designate the site to a new land use category of 'General Institutional'.

DISCUSSION

Project Description:

The proposed project would consist of development of an approximately 51,500 square foot healthcare facility to serve the Rancho Peñasquitos community on a previously developed site. The proposed project would include development of a two-story, 40,000 square foot Outpatient Clinic/Medical Office Building located in the northern portion of the site currently used for surface parking. In addition, the project would include partial demolition of the existing two-story building and redevelopment of the remaining portion of the structure into a one-story, 11,500 square-foot Community Wellness Center. The new outpatient clinic/medical office building would provide space for an outpatient urgent care facility and medical offices. The Community Wellness Center would provide educational classes such as Childbirth and behavioral health classes, as well as group activities and fitness programs, and include numerous meeting rooms of various seating capacities, waiting room, nurse's office, and dining/activity room. The project would provide a total of 206 onsite surface parking spaces.

The site is bound by SR-56 to the north, a Church of the Latter Day Saints (LDS) facility and existing residential uses in the Ridgewood neighborhood to the south, to the west by Black Mountain Road and residential uses in the Parkview neighborhood, and to the east by existing residential uses within the Ridgewood neighborhood of Rancho Peñasquitos (Attachment 1).

If the proposed project is approved by City Council, the applicant will withdraw the existing approved Conditional Use Permits Nos. C-19501 and 4792, that allow for the operation of a church and school on the site.

The project requires the approval of a General Plan/Community Plan Amendment, Rezone from RS-1-14 to IL-3-1, Water Easement Vacation, Site Development Permit and Planned Development Permit.

Community Plan Amendment

The project is requesting a General/Community Plan Amendment to change the land use designation from 'Religious Facility' to 'General Institutional' within the Rancho Penasquitos Community Plan. A detailed analysis of the requested General/Community Plan Amendment to the Rancho Penasquitos Community Plan is provided below under 'Community Plan and General Plan Analysis'.

Rezone

The project is requesting to rezone the 4.45 acre site from RS-1-14 to IL-3-1. The proposed clinic and wellness center would be consistent with the proposed IL-3-1 Zone.

Easement Abandonment

In 1989, the City of San Diego was granted a water easement according to file no. 89-257063, on

the project site. As a part of constructing the proposed project, the applicant is requesting that an area of 0.136 acres be vacated as show on Attachment 13. There is no present or prospective public use for this water easement. There is no other public use of a like nature that can be anticipated for such easements on the project site.

Site Development Permit (SDP)

A SDP is required because the project site contains Environmentally Sensitive Lands in the form of sensitive biological resources identified as Diegan Coastal Sage Scrub. Pursuant to SDMC Chapter 14, Article 3, Division 1 of the Environmentally Sensitive Lands (ESL) Regulations, any portion of the premises that contains, among others, steep hillsides and sensitive biological resources would be subject to ESL regulations. The project site is not within the Multiple Habitat Planning Area (MHPA) nor is it adjacent to MHPA lands. Direct project impacts to Diegan Coastal Sage Scrub is approximately 0.07 acre, which does not require mitigation as the threshold to require mitigation is 0.1 acre of impact to sensitive habitat.

Planned Development Permit (PDP)

The proposed Planned Development Permit (PDP) would allow for greater flexibility in the application of development regulations for the project where strict application of the development regulations would restrict design options. The PDP would help to implement the City's objectives for institutional projects, such as the proposed development. The PDP allows for deviations to the Fence Regulations, pursuant to SDMC Section 142.0340(f). The retaining wall deviation is located along the northern portion of the site and is approximately 510 feet long with a 293 foot portion varying in height from 10 to 14 feet. The portions of the retaining wall exceeding 12 feet require the requested deviation from the San Diego Municipal Code.

Staff is able to support this deviation as the proposed location of the retaining wall allows for the clinic building to be sited on the project site allowing for internal vehicular circulation and an adequate separation from the proposed Wellness Center building. The deviation is for an area of the wall located behind the proposed Outpatient Clinic/Medial Office Building adjacent to Caltrans Right-of-Way which has an uphill topography. The wall cannot be seen from State Route 56 nor Black Mountain Road as the topography trends uphill in this area of the site and adjacent to the site. All other proposed walls and retaining walls within the project site are consistent with the San Diego Municipal Code. These elements of design review are included within the project's exhibit of approval and Planned Development Permit (Attachment 7).

Community Planning Group

On June 4, 2008, the Rancho Penasquitos Community Planning Board voted to recommend approval by a vote of (14-0-1) with 10 conditions of approval (Attachment 14). The conditions requested by the group covered the following issues: site specific height limit of 42 feet; site irrigation to be connected to the City's recycled waterlines; site shall not use any commercial wireless facilities; strong encouragement to attain US Green Building Council's (USGBC'S) Leadership in Energy and Environmental Design (LEED) Silver Certification; requesting that the applicant provide the group with proposed interior plans and sign package; Facilities Benefit Assessment (FBA) fees to be charged at the Commercial Rate not Hospital Rate; applicant shall

provide irrigation and landscaping to the City's Right-of-Way north of the site line to State Route 56, and that all conditions discussed at the meeting be recorded for the project.

Staff has reviewed these conditions of approval presented by the Rancho Penasquitos Community Planning Board and have determined that none of these conditions can be included within the permit for the project as these conditions of approval are inconsistent with the adopted San Diego Municipal Code (SDMC). Therefore, none of the conditions of approval are currently incorporated into the permit.

Community Plan & General Plan Analysis

Community Plan Analysis:

The Rancho Peñasquitos Community Plan is the City's adopted land use plan for the community where the project is located. This project includes several changes to the community plan, which was originally approved in March 1993, and last revised in March 2004. The proposed changes are called out in the attached draft Community Plan Amendment (CPA) in strikeout/underline format (Attachment 11).

The Community Plan Amendment was initiated by the Planning Commission on January 19, 2006. At the meeting, several issues were identified for future analysis. Areas identified for future analysis were: appropriate land use and zoning designation; compatibility to surrounding uses; evaluate traffic impacts; evaluate including the adjacent property in the proposed community plan amendment; and compatibility with the City's Progress Guide, General Plan, and Strategic Framework Element. Planning Commission Report No. PC-06-005 is provided at: <http://www.sandiego.gov/planning-commission/pcreports/pc05006palomar.pdf>

The 4.45-acre site is currently designated *Religious Facility* within the community plan (Attachment 11). The requested Community Plan Amendment would create a new land use designation of *Health Clinic & Wellness Center*, which would be grouped with the other institutional uses contained in the community plan. A land use heading of *General Institutional* is proposed by staff in order to group these uses into a single category similar to the General Plan framework. The CPA would allow for the development of the proposed medical facility and associated community wellness center.

The new outpatient clinic/medical office building would provide space for an outpatient urgent care facility and medical offices. The adjacent Wellness Center would provide educational classes such as childbirth and behavioral health classes, as well as group activities and fitness programs, and include numerous meeting rooms of various seating capacities, waiting room, nurse's office, and dining/activity room. Analysis has concluded that the proposed project would fit the description of 'General Institution' land use category in the General Plan, which identifies General Institution as uses "which offer public and semi-public services to the community."

Presently, there are no health care-related facilities in the community, and the community plan recognizes that "the health care services needs of the Rancho Peñasquitos are currently met by facilities in Escondido, Poway and the north-central portion of the City of San Diego." Therefore, the community plan specifically states that "consideration should be given to a

community health clinic, centrally located in Rancho Peñasquitos” to serve the community and nearby areas.

The proposed facility would provide a health clinic as recommended by the community plan, which recognize that health care services could include “health education and information services, as well as operate as a center for prevention and detection services....limited emergency, diagnosis, and treatment services.” Another goal identified in the community plan is to “provide and maintain a high level of public facilities and services concurrent with community growth and tailored to community needs.” The proposed medical facility would support this community plan objective by providing a needed community service. Therefore, it has been determined by staff that the land use change from religious facility to health-care facilities is consistent with objectives of the Plan.

General Plan Analysis:

A comprehensive update of the City’s General Plan was adopted on March 10, 2008, and was based on a new planning strategy for the City developed in the 2002 Strategic Framework Element. Known as the City of Villages strategy, the General Plan aims to redirect development away from undeveloped lands into already urbanized areas and/or areas with conditions allowing the integration of housing, employment, civic, and transit uses.

Provided are thorough discussions for each element applicable to this project:

Land Use & Community Planning – The land use element contains policy direction for implementing the City of Villages strategy, provides citywide land use policies and designations, and establishes community plans as integral components of the General Plan.

The 4.45-acre site is designated as *Institutional & Public and Semi-Public Facilities* in the General Plan and *Religious Facility* in the community plan (see Attachment 11). The requested Community Plan Amendment would create a new land use designation of *General Institutional - Health Clinic & Wellness Center*, which is consistent with the current land use designation in the General Plan.

Mobility - The Mobility Element strives to improve mobility through development of a balanced transportation system that addresses walking, bicycling, transit, and roadways in a manner that strengthens the City of Villages land use vision. Goals of the Mobility Element include creating walkable communities with pedestrian-friendly street, site, and building design.

The proposed project is directly adjacent to a Class 1 Bike Path, which is defined as a separate right-of-way for the exclusive use of non-motorized travel. This bike path travels alongside State Route 56, and stretches almost the entire length of the highway. The Class 1 route is the main path in a network of bike ways in North San Diego, and connects to at least 5 other designated bike ways.

In addition, bus lines 20, 844, and 850 presently serve the community of Rancho Peñasquitos. The nearest bus stops to this project site are about a mile away, and can be accessed via major and inside streets and the bike trail. Rancho Peñasquitos has a maintenance assessment district

to help further preserve the community's emphasis towards mobility and community appearance. This combined with Rancho Peñasquitos reputation for low-crime makes for an inviting and pleasant pedestrian environment.

Urban Design – The Urban Design Element establishes a set of design principles from which future physical design decisions can be based. Policies call for respecting San Diego's natural topography and distinctive neighborhoods; guiding the development of walkable, transit-oriented communities; providing distinctive public places; and implementing public art.

The proposed Clinic building establishes a contemporary architectural form that ties the campus to the broader regional Pomerado Palomar Health (PPH) network. To reinforce the campus theme, this style is introduced into the existing building (wellness center) that would be modified with the addition of a new entry element and facade facing the Clinic building. The nave portion of the existing building remains and faces the adjacent residential neighborhood, maintains its existing architectural style which may be characterized as Spanish/Mediterranean. Keeping this part of the building intact would eliminate potential visual impacts from the residential neighborhood. The building then transitions into a more modern style when it wraps around to the front entrance that faces the Clinic. Adjusting of materials and the use of neutral colors helps softens the transition.

The theme of this new style relates the concept of wellness to nature through the transparency of glass and a variety of garden/terrace elements that promote a healing environment. Neutral earth tones dominate the material palette, harmonizing with the surrounding landscape and the architecture of neighboring buildings.

Economic Prosperity – The Economic Prosperity Element includes policies aimed at supporting an innovative and sustainable local economy, and achieving a rising standard of living for San Diego's workforce.

Palomar Pomerado Health was ranked as the third best workplace among similar sized companies in San Diego County, according to an article published by the San Diego Magazine. The survey was designed to measure company policies and practices in nine categories: work/life balance, employee voice and work culture, community involvement, turnover, pay, benefits, perks and incentives, training and opportunities for advancement and diversity. It is anticipated that a facility of this scale would create hundreds of jobs that would attract people from a wide-range of income levels.

Public Facilities, Services and Safety – The Public Facilities, Services, and Safety Element includes policies on the prioritization and provision of public facilities and services, evaluation of new growth, guidelines for implementing a financing strategy, and guidelines for the provision of specific facilities. Policies call for new growth to pay its fair share, with the City and community-at-large responsible for remedying existing facilities deficiencies.

Properties and land being developed in the City of San Diego are assessed a certain amount that would be used towards public facilities. The assessment is determined by the type, size, and location of the development for the permit being issued. Monies collected are placed in a City special fund by community, to be used solely for those major public facilities shown in the

financing plan for each community. In Rancho Peñasquitos, the fee for this type of development would be \$137,370 per acre based on Fiscal Year 2009 (FY2009). Services related to Police and Fire have been calculated in this fee. Library services are not applicable since this is a non-residential project.

Conservation – The Conservation Element calls for the City to be a model for sustainable development, to address climate change impacts, and to preserve quality of life in San Diego. It includes policies to: reduce the City's carbon footprint; promote sustainable development; promote clean technology industries; conserve natural resources; protect unique landforms; preserve and manage open space and canyon systems, beaches and watercourses; and prevent and reduce pollution. Sustainable conservation practices would help ensure that future generations would be able to meet their needs and enjoy a high quality environment.

Under the Leadership in Energy and Environmental Design (LEED) system, credit can be earned in five primary categories of sustainable design: Sustainable Sites, Water Efficiency, Energy & Atmosphere, Materials & Resources, and Indoor Environmental Quality, and the project can pursue design goals in all five of these categories. Applications for the various credits are made and evaluated by the US Green Building Council in order to establish certification for a project. At this phase of the design process it is difficult to say with precision exactly which credits would be received. Still, the applicant has stated that they are committed to pursue LEED certification of the proposed project, although this project has not been conditioned to attain LEED certification.

The following is a list provided by the applicant identifying some of the green features this project proposes to incorporate in order to achieve their sustainable goals:

- Preparation of a Construction Activity Pollution Prevention Plan
- Use of cool roof and landscaping to reduce Heat Island effect
- Use of water efficient landscaping & irrigation
- Design HVAC systems to minimize energy consumption & optimize energy performance
- 3rd party commissioning of building energy systems to verify design and optimize performance
- Preparation of a Construction Waste Management Plan – Divert construction waste from landfill
- Use of materials with recycled content (10%-20% minimum)
- Use of low-emitting materials (for example adhesives, sealants, paints, carpeting, and composite wood)
- Preparation of a Construction Interior Air Quality Management Plan

Noise – The Noise Element contains policies addressing compatible land uses and the incorporation of noise abatement measures for new uses to protect people from living and working in an excessive noise environment. It includes a matrix that identifies compatible, conditionally compatible, and incompatible land uses by noise decibel level. A Noise Impact Analysis was prepared by Giroux & Associates (July 2006) to assess potential impacts from construction noise, traffic noise and on-site noise sources associated with construction and operation of the proposed project. It was determined that measures would be implemented to mitigate potential noise impacts to a level that would be less than significant as discussed within

the Final MND for the project.

Project-Related Issue:

Retaining Wall Height Deviation – Implementation of the proposed project will require a deviation for the retaining wall height [SDMC Section 142.0340(f)] along the area behind the proposed clinic, along the northern property line, adjacent to Caltrans property and State Route 56. The proposed retaining wall along the northern portion of the site is 510 feet long with a 293 foot portion varying in height from 10 to 14 feet. The portions of the retaining wall exceeding 12 feet require the requested deviation from the San Diego Municipal Code.

Staff is able to support this deviation as the proposed location of the retaining wall allows for the clinic building to be sited on the project site allowing for internal vehicular circulation and an adequate separation from the proposed Wellness Center building. The deviation is for an area of the wall located behind the proposed Outpatient Clinic/Medial Office Building adjacent to Caltrans Right-of-Way which has an uphill topography. The wall cannot be seen from State Route 56 nor Black Mountain Road as the topography trends uphill in this area of the site and adjacent to the site. All other proposed walls and retaining walls within the project site are consistent with the San Diego Municipal Code.

Conclusion:

Staff has determined the proposed project complies with the applicable sections of the Municipal Code and adopted City Council policies. Staff has determined the required findings would support the decision to approve the proposed project's General/Community Plan Amendment, Rezone, Water Easement Vacation, Site Development Permit and Planned Development Permit (Attachments 8, 9 and 10). A Mitigated Negative Declaration was prepared by PPH for this project, as the Lead Agency. The Mitigation, Monitoring and Reporting Program (MMRP) would reduce any potentially significant impact to a level below significance.

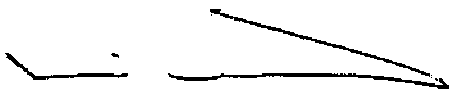
ALTERNATIVES:

1. a. Recommend to the City Council **Adoption** of the Mitigation Monitoring and Reporting Program; and

 b. Recommend to the City Council **Approval** of General/Community Plan Amendment, Rezone, Water Easement Vacation No. 447488, Site Development Permit No. 447403 and Planned Development Permit No. 447402, with modifications; or,
2. a. Recommend to the City Council they **Do Not Adopt** the Mitigation Monitoring and Reporting Program; and

 b. Recommend to the City Council **Denial** of General/Community Plan Amendment, Rezone, Water Easement Vacation No. 447488, Site Development Permit No. 447403 and Planned Development Permit No. 447402, with modifications, if the findings required to approve the project cannot be affirmed.

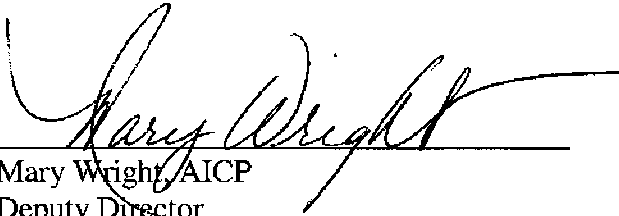
Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



Laura C. Black, AICP
Project Manager
Development Services Department

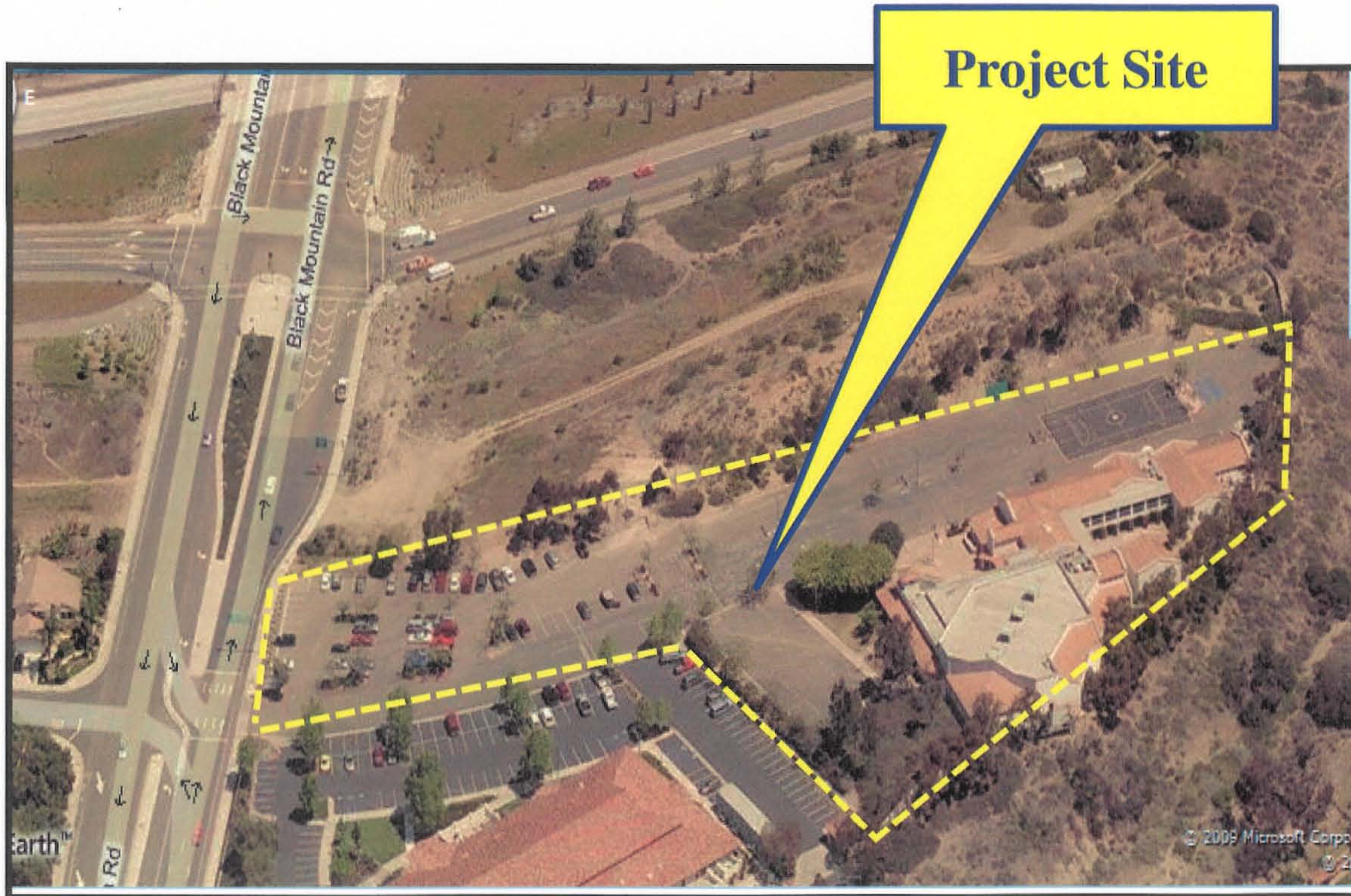


Mary Wright, AICP
Deputy Director
City Planning and Community Investment Department

MW/LCB

Attachments:

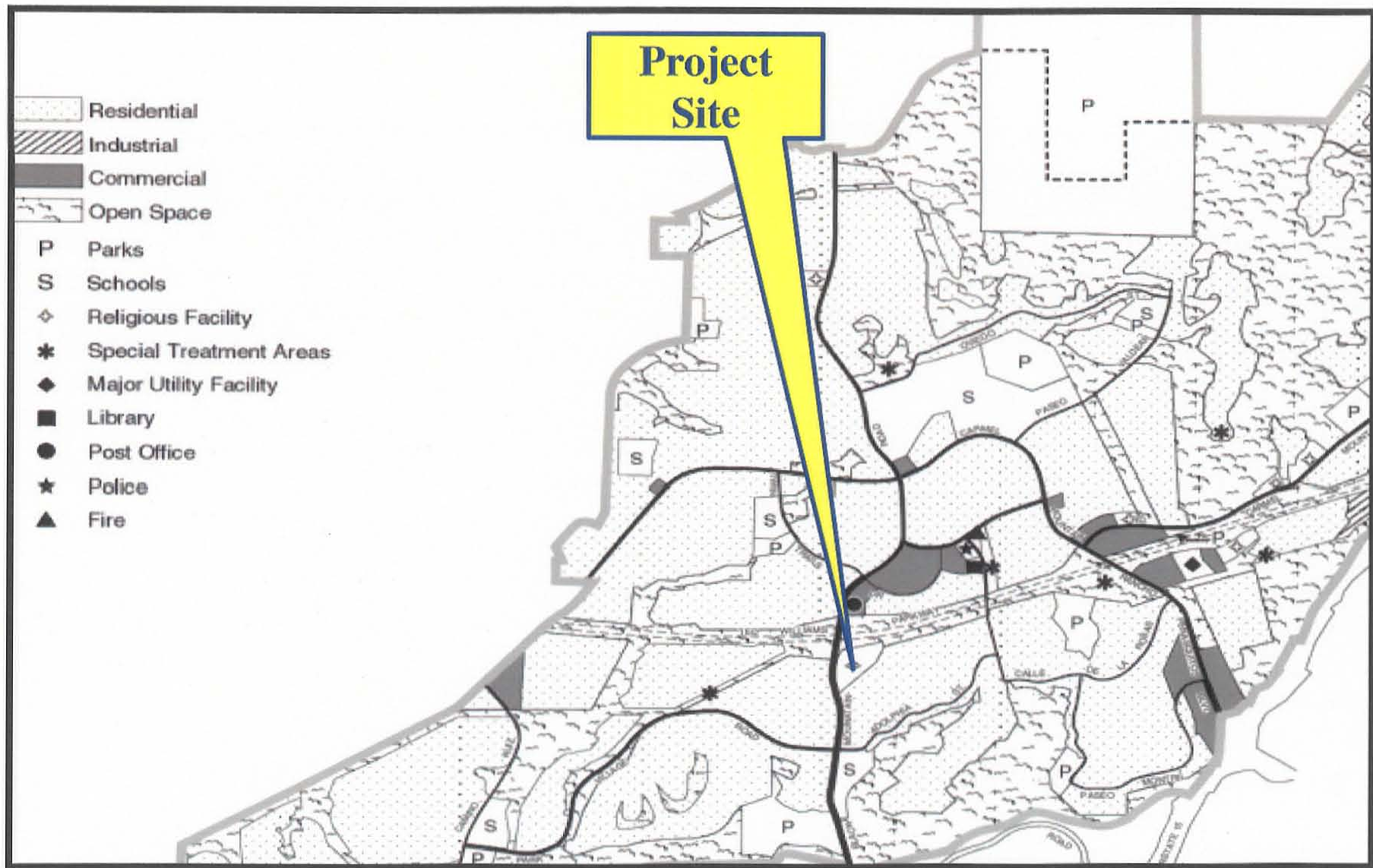
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Project Site Plan
6. Project Plans
7. Draft Permit with Conditions
8. Draft Resolution with Findings
9. Draft Rezone Ordinance
10. Draft Community Plan Amendment Ordinance
11. Draft Community Plan Amendment Documents (Strikeout/Underline and Clean Copy)
12. Rezone - B Sheet
13. Water Easement Vacation - B Sheet
14. Community Planning Group Recommendation
15. Ownership Disclosure Statement
16. Project Chronology
17. Staff's Responses to issues raised by Planning Commission during the Community Plan Initiation discussion on January 19, 2006



Aerial Photo

Community Wellness Campus– 129854
12855 Black Mountain Road

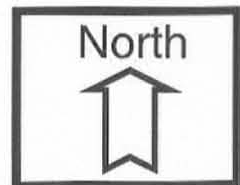


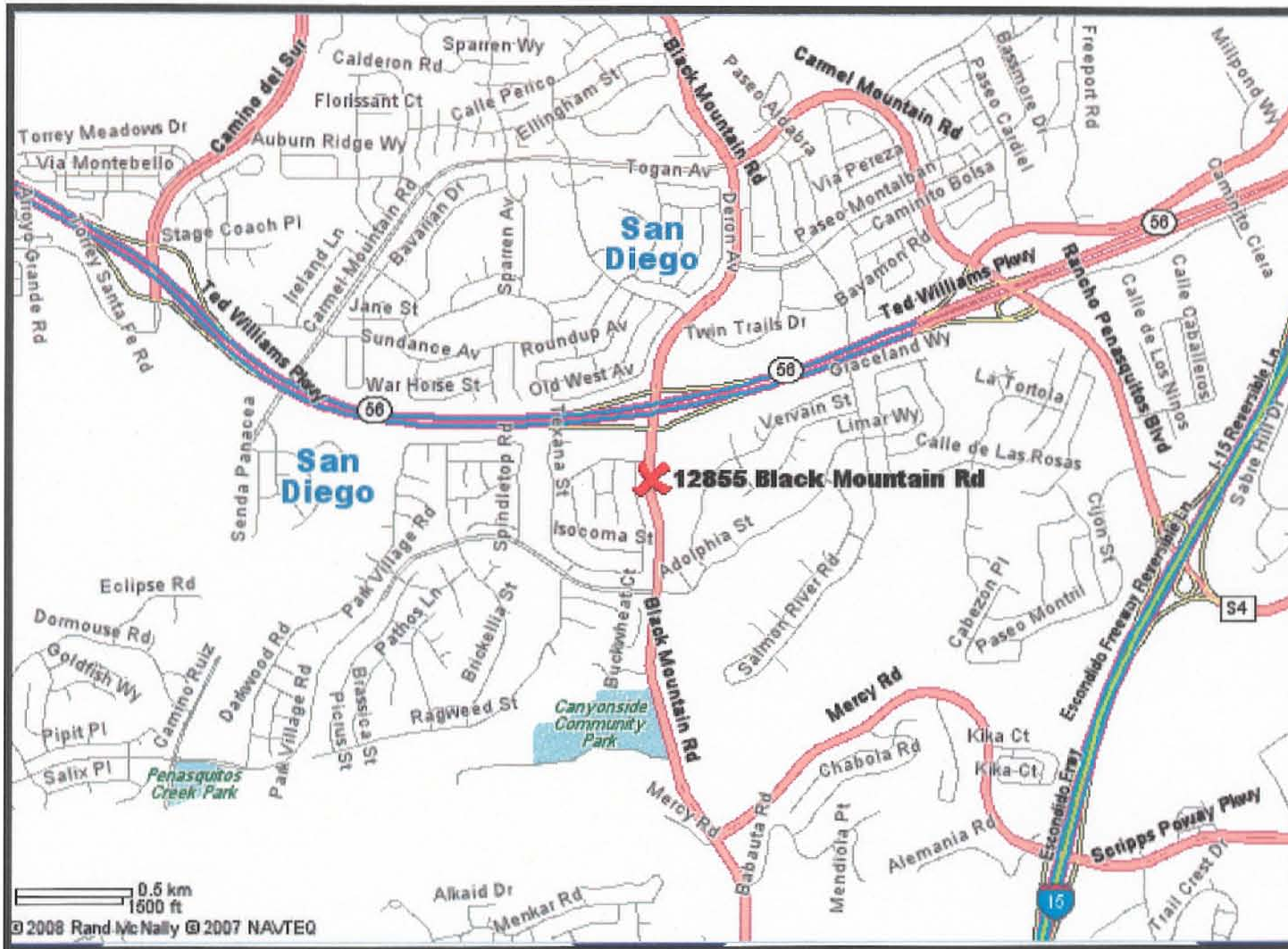


Rancho Penasquitos Land Use Map

Community Wellness Campus – 129854

12855 Black Mountain Road





Project Location Map

Community Wellness Campus— 129854
12855 Black Mountain Road



PROJECT DATA SHEET

PROJECT NAME:	Community Wellness Center – Project No. 129854	
PROJECT DESCRIPTION:	Demolition of portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road.	
COMMUNITY PLAN AREA:	Rancho Peñasquitos Community Plan	
DISCRETIONARY ACTIONS:	General Plan/Community Plan Amendment, Rezone from RS-1-14 to IL-3-1, Planned Development Permit, Site Development Permit for Environmentally Sensitive Lands and Water Easement Abandonment	
COMMUNITY PLAN LAND USE DESIGNATION:	Proposed redesignation to “General Institutional” from “Religious Facility”	
<u>ZONING INFORMATION:</u> ZONE: IL-3-1 (Industrial-Light) HEIGHT LIMIT: N/A LOT SIZE: 15,000 square foot minimum lot size, project site is 4.45 acres FLOOR AREA RATIO: 2.0 maximum, project has an FAR of 0.27 FRONT SETBACK: 15 feet min/20 feet standard, project provides 261 feet SIDE SETBACK: 10 foot min, project side setbacks vary but provides at least the minimum required 10 feet STREETSIDE SETBACK: 15 feet min/20 feet standard, N/A to project REAR SETBACK: 25 feet min (abutting residential), project provides 26 feet PARKING: 206 spaces required, project provides 206 onsite spaces		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Commercial; CC-1-3 and RM-2-5	State Route 56, Commercial and Multi-Family Residential
SOUTH:	Residential; RS-1-14	Single Family Residential
EAST:	Residential; RS-1-14	Single Family Residential
WEST:	Residential; RS-1-14	Single Family Residential

DEVIATIONS OR VARIANCES REQUESTED:	One deviation is requested for the proposed retaining wall located behind the proposed clinic building, adjacent to Caltrans property and State Route 56. The deviation is requesting that a 293 foot portion of the 510 foot long retaining wall vary in height from 10 to 14 feet. All portions above 12 feet require the requested deviation.
COMMUNITY PLANNING GROUP RECOMMENDATION:	On June 4, 2008, the Rancho Peñasquitos Planning Board voted 14-0-1 to recommend approval of the project with 10 conditions of approval.

PALOMAR POMERADO HEALTH
RANCHO PENASQUITOS
CLINIC & COMMUNITY WELLNESS CENTER
PLANNED DEVELOPMENT PERMIT / SITE DEVELOPMENT PERMIT

DEVELOPMENT SUMMARY

BULLET POINT NARRATIVE:	THE PROPOSED SITE PLAN FEATURES: 1. THE PRESERVATION OF THE NAVE PORTION OF THE EXISTING CHAPEL, WHICH WILL BECOME THE CENTERPIECE FOR AN APPROXIMATELY 1,100 SQUARE FOOT COMMUNITY WELLNESS CENTER OFFERING HEALTH EDUCATION/COUNSELING AND RELATED SERVICES. TYPICAL USES COULD INCLUDE CHILDREN'S CLASSES, DIRECT COUNSELING OR IN-STAFF TRAINING. 2. A TWO-STORY CLINIC OF APPROXIMATELY 40,000 SQUARE FEET ACCOMMODATING DOCTORS' OFFICES AND AN OUTPATIENT URGENT CARE FACILITY. THE BUILDING MAY BE DIVIDED INTO TWO PHASES. 3. A CENTRAL PLAZA, SHADE STRUCTURES, HARDSCAPE AND LANDSCAPE THAT DEFINES A PEDESTRIAN CONNECTION BETWEEN THE TWO BUILDINGS. 4. APPROXIMATELY 200 PARKING SPACES AND OTHER SITE AMENITIES. 5. REQUESTED ACTIONS: SITE DEVELOPMENT PERMIT (SDP), PLANNED DEVELOPMENT PERMIT (PDP), COMMUNITY PLAN AMENDMENT, ENVIRONMENTAL IMPACT STATEMENT (EIS), RECORDING (PROCESS 3). 6. A PLANNED DEVELOPMENT PERMIT VARIATION IS BEING REQUESTED TO EXCEED THE MAXIMUM WALL HEIGHT LIMITS FOR AN APPROXIMATELY 283,700 PORTION OF AN APPROXIMATELY 510 FOOT LONG RETAINING WALL. THE PORTION OF THE WALL WHICH EXCEEDS THE HEIGHT LIMIT VARIES FROM 10 FEET TO 15 FEET IN HEIGHT.		
BRIEF LEGAL DESCRIPTION:	PARCELS 2 OF PARCELS MAP NO. 14568 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, LIES IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 4, 1988, EXCEPTING THEREFROM THAT PORTION GRANTED TO THE CITY OF SAN DIEGO BY DEED RECORDED SEPTEMBER 23, 1989 AS FILE NO. 998-083,376 OF OFFICIAL RECORDS. PER SHEET 2 OF 15 (EXISTING CONDITIONS) FOR COMPLETE LEGAL DESCRIPTION.		
ASSESSOR'S PARCEL NUMBER:	315-450-28		
EXISTING PERMITS:	CUP NO. 4292 (PDS, 1977)		
EXISTING COMMUNITY PLAN:	RANCHO PENASQUITOS		
EXISTING LAND USE DESIGNATION:	RELIGIOUS FACILITY		
PROPOSED LAND USE DESIGNATION:	GENERAL INSTITUTIONAL		
EXISTING ZONING:	RS-1-14		
PROPOSED ZONING:	IL-2-1		
GROSS SITE AREA:	4.45 ACRES (1,183,847 S.F.)		
GROSS FLOOR AREA:	51,000 S.F.		
FLOOR AREA RATIO:	0.27		
EXISTING USE:	CHURCH / SCHOOL		
PROPOSED USE:	CLINIC / COMMUNITY WELLNESS CENTER		
SETBACKS:	MINIMUM REQUIRED:	STANDARD REQUIRED:	PROPOSED
FRONT:	10'-0" MIN.	20'-0"	26'-11"
SIDE:	10'-0" MIN.	-	VARIES (10'-0" MIN.)
SIDE (STREET):	15'-0" MIN.	25'-0"	-
SIDE (ABUTTING RESIDENTIAL):	25'-0" MIN.	-	-
REAR:	20'-0" MIN.	15'-0"	-
REAR (ABUTTING RESIDENTIAL):	25'-0" MIN.	-	25'-11" (EXISTING)
BUILDING CODE(S):	THE 2001 EDITION OF THE CALIFORNIA BUILDING CODE (CBC) ADOPTS THE 1997 UNIFORM BUILDING CODE (UBC) AND THE 2001 CALIFORNIA AMENDMENTS. THE 2004 EDITION OF THE CALIFORNIA ELECTRICAL CODE (CEC) ADOPTS THE 2002 NATIONAL ELECTRICAL CODE (NEC) AND THE 2004 CALIFORNIA AMENDMENTS. THE 2001 EDITION OF THE CALIFORNIA MECHANICAL CODE (CMC) ADOPTS THE 2000 UNIFORM MECHANICAL CODE (UMC) AND THE 2001 CALIFORNIA AMENDMENTS. THE 2001 EDITION OF THE CALIFORNIA PLUMBING CODE (CPC) ADOPTS THE 2000 UNIFORM PLUMBING CODE (UPC) AND THE 2001 CALIFORNIA AMENDMENTS. THE 2005 EDITION OF THE CALIFORNIA ENERGY EFFICIENCY STANDARDS (T-24)		
PROPOSED STRUCTURE(S):	STRUCTURE	OCCUPANCY GROUP	CONSTRUCTION TYPE
COMMUNITY WELLNESS CENTER	111 STORIES	B**	TYPE V-N
CLINIC	2 STORY	B	(SPRINKLERED)
YEAR CONSTRUCTED OF EXISTING STRUCTURE(S):	EXISTING CHAPEL CONSTRUCTED 1987. THE NAVE PORTION OF THE EXISTING CHAPEL IS TO BE RETAINED AS THE CENTERPIECE FOR THE PROPOSED COMMUNITY WELLNESS CENTER.		

FIRE DEPARTMENT NOTES

- FIRE PROTECTION, INCLUDING FIRE APPARATUS, ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION (CFC 901.2, 904.2, 904.6).
- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC ARTICLE 87 (CFC 920.1).
- FIRE HYDRANTS SHALL COMPLY WITH FIPS 1-00-1.
- FIRE HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE MARKERS (CFC 901.4.3).
- FIRE ACCESS ROADWAY SIGNS OR RED CURBS SHALL BE PROVIDED IN ACCORDANCE WITH FIPS POLICY A-00-1.
- BUILDING ADDRESS NUMBERS SHALL BE VISIBLE AND LISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FIPS POLICY P-00-6 (CFC 901.4.4).
- EMERGENCY PLANS SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO OCCUPANCY (CFC 1503.4.2, CAL. CODE REGS. TT 19.109).
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE(S) (CFC 1001.4).

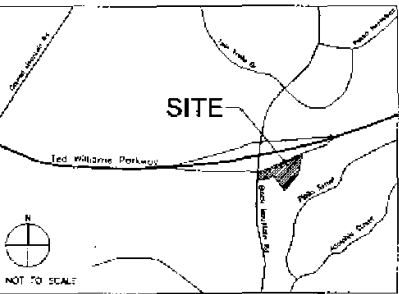
SHEET INDEX

- TITLE SHEET
- EXISTING CONDITIONS
- PROPOSED SITE PLAN
- GRADING PLAN
- UTILITY PLAN
- LANDSCAPE PLAN
- LANDSCAPE CALCULATIONS AND AREA DETAILS
- EROSION MANAGEMENT PLAN
- SOIL SETTINGS
- CLINIC BUILDING FLOOR PLANS
- CLINIC BUILDING FOOT PLAN
- CLINIC BUILDING ELEVATIONS
- COMMUNITY WELLNESS CENTER FLOOR AND ROOF PLANS
- COMMUNITY WELLNESS CENTER ELEVATIONS
- SITE DEVELOPMENT PERMIT EXHIBIT (EIS ANALYSIS)

PROJECT DIRECTORY

PRIMARY OWNER CONTACT:	PALOMAR POMERADO HEALTH 15255 INNOVATION DRIVE SAN DIEGO, CA 92128 (619) 675-8593 CONTACT: MICHAEL B. SHANAHAN, AA DIRECTOR, FACILITIES, PLANNING AND DEVELOPMENT
CONSULTANTS:	
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PLANNING:	METROPOLIS 1045 14TH STREET, SUITE 130 SAN DIEGO, CA 92101 (619) 255-9484 CONTACT: MR. RICHARD L. MILLER
CIVIL ENGINEER:	LATITUDE 33 PLANNING AND ENGINEERING 4933 PARAMOUNT DRIVE, SECOND FLOOR SAN DIEGO, CA 92123 (619) 521-7823 CONTACT: MR. JIM HUGGINS
LANDSCAPE ARCHITECT:	HOMELL & ASSOCIATES 4010 GOLDENHILL STREET SAN DIEGO, CA 92103 (619) 325-1090 CONTACT: MR. WALL HEDGEMAN
ENVIRONMENTAL:	PIESAL 9275 SKY PARK COURT, SUITE 100 SAN DIEGO, CA 92123 (619) 674-1810 CONTACT: MRS. DAWN CATALANO
GEOTECHNICAL:	URS CORPORATION 915 WILSHIRE BLVD., STE. 700 LOS ANGELES, CA 90017 (213) 559-2200 CONTACT: MR. CURTIS T. NAGATA, P.E.

VICINITY MAP



PREPARED BY:	
NAME:	CHILDS MASCARI WARNER ARCHITECTS
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REVISION 4:	
REVISION 3:	04-24-08
REVISION 2:	04-24-08
REVISION 1:	01-15-08
ORIGINAL DATE:	04-24-07
PRELIM. REVIEW:	08-08-08
SHEET TITLE:	
TITLE SHEET	
SHEET NO. 1 OF 15	
PTS#	129854
PROJECT#	200531.10

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 'A'

PARCEL 2 OF PARCEL MAP NO. 14569, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 4, 1995, EXCEPTING THEREFROM THAT PORTION GRANTED TO THE CITY OF SAN DIEGO BY DEED RECORDED SEPTEMBER 23, 1989 AS FILE NO. 1989-065179 OF OFFICIAL RECORDS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHWESTERLY CORNER OF SAID PARCEL 2, BEING A POINT OF THE EASTERLY RIGHT OF WAY LINE OF BLACK MOUNTAIN ROAD DEDICATED BY RESOLUTION NO. 223222 RECORDED MAY 1, 1979 IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY AS FILE NO. 78-186223 OF OFFICIAL RECORDS;

THENCE ALONG THE NORTHERLY LINE OF SAID PARCEL 2 SOUTH 28°27'07" EAST (ACCORDING SOUTH 28°27'07" EAST PER SAID PARCEL MAP NO. 14569), A DISTANCE OF 8.825 METERS;

THENCE LEAVING SAID NORTHERLY LINE SOUTH 23°50'44" WEST, A DISTANCE OF 4.473 METERS, THENCE SOUTH 08°45'28" WEST, A DISTANCE OF 35.175 METERS TO THE SOUTHERLY LINE OF SAID PARCEL 2, BEING A POINT OF A MORE-RECENT 171.000 METER CURVE BEGINNING TO THE NORTH, A RADIUS LINE TO SAID POINT BEARS SOUTH 03°41'50" WEST;

THENCE WESTERLY ALONG SAID SOUTHERLY LINE AND THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 05°58'51" A DISTANCE OF 4.747 METERS TO THE EASTERLY RIGHT OF WAY LINE OF SAID BLACK MOUNTAIN ROAD;

THENCE NORTH 05°40'50" EAST (ACCORDING NORTH 05°40'50" EAST) RADIAL TO SAID CURVE, A DISTANCE OF 40.285 METERS TO THE POINT OF BEGINNING.

PARCEL 'B' - "EASEMENT"

AN EASEMENT FOR THE PURPOSE OF PEDESTRIAN AND VEHICULAR ACCESS AND FOR ELECTRICAL, GAS, TELEPHONE, CABLE TELEVISION, WATER LINES, AND OTHER UTILITY LINES, CONDUITS, PIPES AND WORKS (INCLUDING THE RIGHT TO CONSTRUCT, RECONSTRUCT, MAINTAIN, OPERATE, REPAIR AND PAVE SAID ACCESS AND UTILITIES) CROSSING THAT PORTION OF LOT 1 OF PARK VILLAGE ESTATES UNIT NO. 3, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 12344, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 24, 1988, AS RECORDED IN DEED RECORDED APRIL 8, 1987 AS FILE NO. 87-104443 OF OFFICIAL RECORDS AND AS COMPLETED IN DEED RECORDED JULY 14, 1987 AS FILE NO. 87-104443 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

A STRIP OF LAND 20.00 FEET IN WIDTH, THE NORTHERLY LINE OF SAID STRIP BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF THE CENTERLINES OF PARKVIEW DRIVE AND BLACK MOUNTAIN ROAD AS SHOWN ON PARK VILLAGE ESTATES UNIT NO. 3 MAP NO. 12344, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 12, 1984;

THENCE SOUTH 84°51'11" EAST, 49.00 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT BEING THE EASTERLY RIGHT OF WAY LINE OF BLACK MOUNTAIN ROAD AS DEDICATED BY DEED RECORDED MAY 7, 1979 AS FILE NO. 79-186223 OF OFFICIAL RECORDS OF SAN DIEGO COUNTY AND BEING SOUTH 08°45'28" WEST AND A DISTANCE OF 15.00 FEET FROM THE NORTHWESTERLY CORNER OF LOT 1 OF SAID MAP NO. 12344, SAID POINT BEING ALSO THE BEGINNING OF A TANGENT 450.00 FOOT RADIUS CURVE BEGINNING NORTHERLY;

THENCE LEAVING SAID RIGHT OF WAY OF SAID BLACK MOUNTAIN ROAD EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 27°08'25" A DISTANCE OF 213.16 FEET;

THENCE NORTH 87°42'24" EAST, 80.85 FEET TO A POINT OF BEGINNING ON A LINE THAT BEARS NORTH 33°00'00" WEST, THE SOUTHERLY LINE OF SAID STRIP SHALL BE EXTENDED TO TERMINATE ON THE ABOVE SAID LINE;

PARCEL 'C' - "EASEMENT"

A NON-EXCLUSIVE EASEMENT FOR THE PURPOSE OF A SEWER MAIN OR LATERAL, INCLUDING THE RIGHT TO CONSTRUCT, RECONSTRUCT, MAINTAIN, OPERATE AND REPAIR SUCH SEWER MAIN OR LATERAL AND ANY AND ALL APPURTENANCES THEREON, TOGETHER WITH THE RIGHT OF ACCESS AND EGRESS OVER UNDER, UPON AND ACROSS THAT PORTION OF LOT 1 OF PARK VILLAGE ESTATES UNIT NO. 3, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 12344, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 24, 1988, AS RECORDED IN DEED RECORDED APRIL 8, 1987 AS FILE NO. 87-104443 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF THE CENTERLINES OF PARKVIEW DRIVE AND BLACK MOUNTAIN ROAD AS SHOWN ON PARK VILLAGE ESTATES UNIT NO. 3 MAP NO. 12344, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 12, 1984;

THENCE SOUTH 84°51'11" EAST, 49.00 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF BLACK MOUNTAIN ROAD AS DEDICATED BY DEED RECORDED MAY 7, 1979 AS FILE NO. 79-186223 OF OFFICIAL RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, BEING SOUTH 08°45'28" WEST AND A DISTANCE OF 15.00 FEET FROM THE NORTHWESTERLY CORNER OF LOT 1 OF SAID MAP NO. 12344, SAID POINT BEING ALSO THE BEGINNING OF A TANGENT 450.00 FOOT RADIUS CURVE BEGINNING NORTHERLY;

THENCE LEAVING SAID RIGHT OF WAY OF SAID BLACK MOUNTAIN ROAD EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 27°08'25" A DISTANCE OF 213.16 FEET;

THENCE NORTH 88°38'24" EAST, 86.93 FEET TO A POINT ON A LINE THAT BEARS SOUTH 33°00'00" EAST;

THENCE SOUTHEASTERLY ALONG SAID LINE SOUTH 33°00'00" EAST, 243.49 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 33°00'00" EAST, 50.44 FEET TO THE SOUTHEASTERLY LINE OF LOT 1 OF SAID MAP NO. 12344;

THENCE SOUTHWESTERLY ALONG SAID LINE SOUTH 33°00'00" WEST, 161.06 FEET TO THE MOST NORTHWESTERLY CORNER OF LOT 304 OF SAID MAP NO. 12344;

THENCE LEAVING SAID LOT CORNER OF SAID LOT 304 AND SAID SOUTHWESTERLY LINE OF SAID LOT 304, USING THE EXTENSION OF THE NORTHERLY LINE OF SAID LOT 304, NORTH 70°26'36" WEST, 65.00 FEET TO A LINE THAT BEARS SOUTH 44°14'36" WEST FROM THE TRUE POINT OF BEGINNING;

THENCE NORTHEASTERLY ALONG SAID LINE NORTH 44°14'36" EAST, 151.877 FEET TO THE TRUE POINT OF BEGINNING.

BENCHMARK

STATION OF SAN DIEGO SOUTHWEST BEARS PLUG AT THE INTERSECTION OF BLACK MOUNTAIN ROAD & BLACK MOUNTAIN ROAD
ELEVATION: 522.000 M.S.L. DATUM

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PROPERTY IS A CALIFORNIA COORDINATE SYSTEM OF 1983, TIME & EPOCH 1983.35 AND IS DETERMINED BY STATION DATA MEASUREMENTS TAKEN ON JUNE 3, 2005 AT POINTS 'A' AND 'B' AS SHOWN HEREON. THE POINTS WERE ADJUSTED TO NAD 83, STATION NO. 200 AND GPS STATION NO. 572 PER RECORD OF SURVEY NO. 14860, N. NORTH 44°14'36" EAST.

THE COMBINED SCALE FACTOR AT U.S. STATION 'A' IS 0.99999974, AND DISTANCE * (GROUND DISTANCE * COMBINED SCALE FACTOR) YIELDS BEARINGS FROM REFERENCE BEARS/PLUGS MAY OR MAY NOT BE IN TERMS OF GRID SYSTEM.

TOPOGRAPHY

TOPOGRAPHY SHOWN HEREON IS BASED UPON AN AERIAL SURVEY BY PROJECT DESIGN CONSULTANTS, IN JUNE 2005.

REFERENCE DRAWINGS

GENERAL: 10761-D

WATER: 24503-D

STORM DRAIN: 24410-D

EASEMENTS/ENCUMBRANCES

1. BUILDING RESTRICTED EASEMENT AS SHOWN ON PARCEL MAP NO. 14569.

2. ACCESS AND UTILITIES EASEMENT GRANTED TO THE CORPORATION OF THE PRESBYTERIAN CHURCH OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, A UTAH CORPORATION, SOLE RECORDED APRIL 6, 1987 AS FILE NO. 87-100443.

3. ENCUMBRANCE REMOVAL AGREEMENT FOR LANDSCAPING AND IRRIGATION RECORDED APRIL 4, 1989 AS FILE NO. 89-125461 ON.

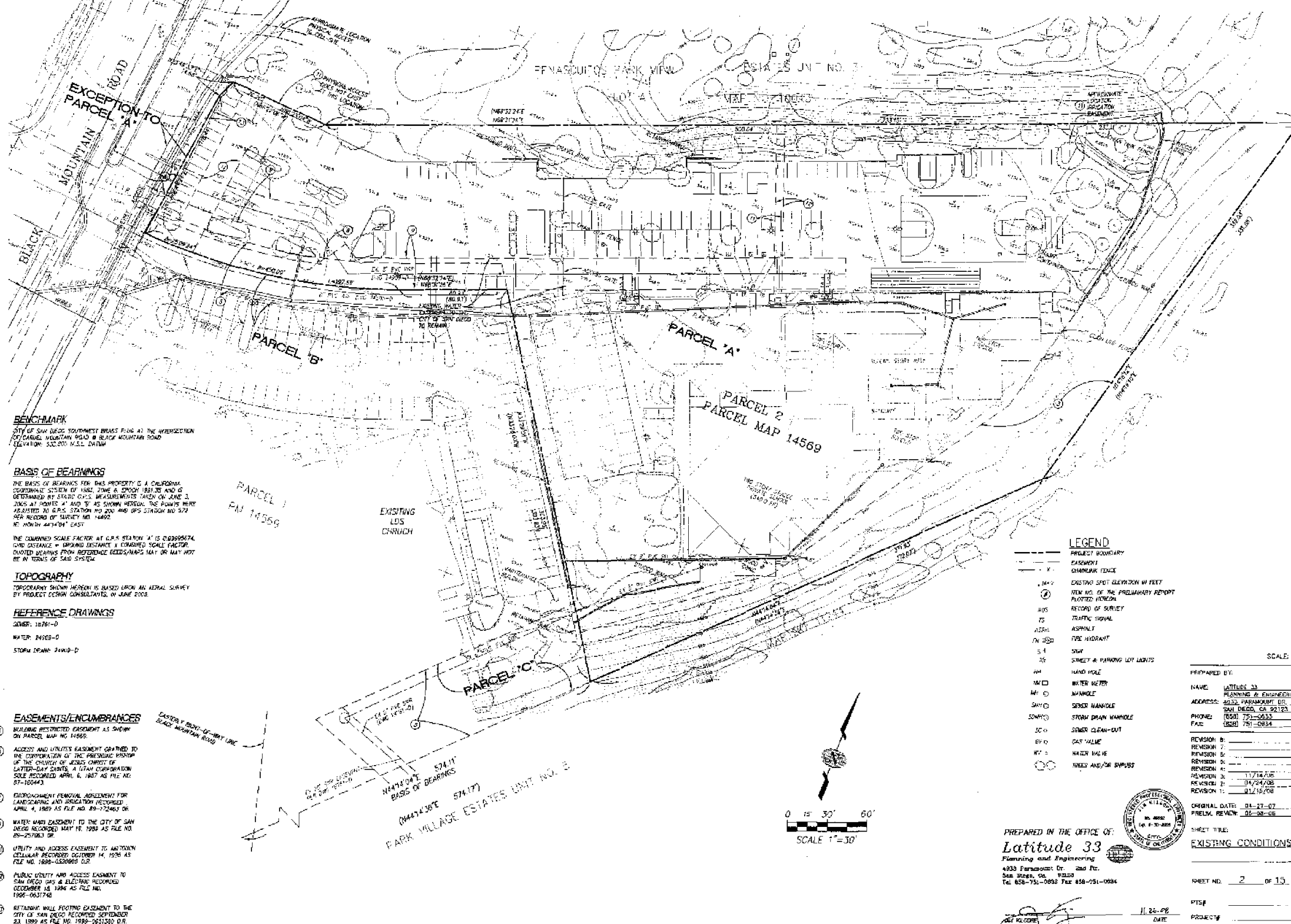
4. WATER MAIN EASEMENT TO THE CITY OF SAN DIEGO RECORDED MAY 16, 1995 AS FILE NO. 89-257063 ON.

5. UTILITY AND ACCESS EASEMENT TO AND FROM CELLULAR RECORDED OCTOBER 14, 1996 AS FILE NO. 1996-050069 ON.

6. PUBLIC UTILITY AND ACCESS EASEMENT TO SAN DIEGO GAS & ELECTRIC RECORDED OCTOBER 14, 1996 AS FILE NO. 1996-053174 ON.

7. RETAINING WALL FOOTING EASEMENT TO THE CITY OF SAN DIEGO RECORDED SEPTEMBER 23, 1999 AS FILE NO. 1999-0551280 ON.

ROUTE SR-56



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architects
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San Diego, California 92101
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PALOMAR
POMERADO
HEALTH
SPECIALIZING IN YOU

RANCHO PENASQUITOS
CLINIC & COMMUNITY WELLNESS CENTER
12558 BLACK MOUNTAIN ROAD
SAN DIEGO, CALIFORNIA

TED WILLIAMS PARKWAY (STATE ROUTE 56)

GRAPHIC LEGEND

- PROPERTY LINE
- REQUIRED SETBACKS
- SITE EASEMENTS (SEE CIVIL)
- NEW RETAINING WALL
- EXISTING RETAINING WALL
- ACCESSIBLE PATH OF TRAVEL
- EXISTING BUILDING TO REMAIN
- PROPOSED BUILDING
- EXISTING BUILDING TO BE DEMOLISHED
- DRIVEABLE TURF FOR LOADING AND FIRE ACCESS
- HARDSCAPE (SEE LANDSCAPE DRAWINGS)
- FIRE ACCESS PATH
- PAINTED CROSSWALK
- STANDARD PARKING SPACE (8'-0" x 18'-0")
- STANDARD PARKING SPACE W/ 3' OVERHANG (8'-0" x 15'-0")
- VAN ACCESSIBLE PARKING SPACE (9'-0" x 18'-0" W/ 3'-0" LOADING AREA)
- ACCESSIBLE PARKING SPACE (9'-0" x 18'-0" W/ 3'-0" LOADING AREA)
- PARKING COUNT BY AREA
- PARKING COUNT BY ROW
- MOTORCYCLE PARKING COUNT BY ROW
- DESIGNATED CARPOOL PARKING

SITE RESUME

SITE AREA	14.45 AC.
BUILDING AREA	
COMMUNITY WELLNESS CENTER	11,500 S.F.
CLINIC	43,000 S.F.
TOTAL	54,500 S.F.
PARKING REQUIRED (PER SDMC TABLE 142-05F)	
COMMUNITY WELLNESS CENTER	(4/1000 S.F.) 46 SPACES
CLINIC	(4/1000 S.F.) 160 SPACES
TOTAL	(4/1000 S.F.) 206 SPACES
ACCESSIBLE PARKING REQUIRED (PER C.B.C. TABLE 11B-5; INCLUDED IN TOTAL ABOVE)	7 SPACES
CARPOOL PARKING REQUIRED (PER SDMC TABLE 142-06F; INCLUDED IN TOTAL ABOVE)	21 SPACES
MOTORCYCLE PARKING REQUIRED (2% OF TOTAL)	4 SPACES
BICYCLE PARKING REQUIRED (PER SDMC TABLE 142-06F)	
(.03 + .03 BIKE LOCKERS W/ SHOWERS/1000 S.F. OR 2 SPACES MIN.)	
2 SPACES PROVIDED IN EXTERIOR RACKS	
2 BIKE LOCKERS W/ SHOWERS PROVIDED IN BUILDING(S)	
PARKING PROVIDED	
STANDARD SPACES (8'-0" x 18'-0" MIN.)	173 SPACES
STANDARD SPACES (8'-0" x 15'-0" MIN. W/ 3' OVERHANG)	27 SPACES
OVERSIZED SPACES (8'-0" x 18'-0")	48 SPACES
ACCESSIBLE SPACES (9'-0" x 18'-0")	8 SPACES
TOTAL	(4/1000 S.F.) 206 SPACES
CARPOOL PARKING (INCLUDED IN TOTAL ABOVE)	21 SPACES
MOTORCYCLE PARKING	4 SPACES
BICYCLE PARKING	
2 SPACES PROVIDED IN EXTERIOR RACKS	
2 BIKE LOCKERS W/ SHOWERS TO BE PROVIDED IN BUILDING(S)	

GENERAL NOTES

- ALL PROPOSED REFUSE AND RECYCLABLES STORAGE AREAS SHALL CONFORM TO THE REQUIREMENTS OF SDMC SECTION 142.0810(G), FOR THE SCREENING OF MATERIAL STORAGE AREAS.
- ALL PROPOSED SIGNS SHALL COMPLY WITH THE SIGN REGULATIONS OF THE SAN DIEGO MUNICIPAL CODE.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, THE APPLICANT SHALL REPLACE THE EXISTING DRIVEWAY WITH CITY STANDARD DRIVEWAY, ON BLACK MOUNTAIN ROAD, PER STANDARD DRAWING G-144, G-145 AND G-146-100, SATISFACTORY TO THE CITY ENGINEER.

GENERAL NOTES

1. TOTAL AREA WITHIN DEVELOPMENT IS 4.455 ACRES
2. GAS AND ELECTRIC: SAN DIEGO GAS & ELECTRIC
3. TELEPHONE: AT&T
4. SEWER AND WATER: CITY OF SAN DIEGO
5. DRAINAGE SYSTEM: PUBLIC STORM DRAINS: CITY OF SAN DIEGO/
PRIVATE STORM DRAINS: OWNER
6. FIRE: CITY OF SAN DIEGO
7. SCHOOL DISTRICT: SAN DIEGO SCHOOL DISTRICT/PORTAL UNIFIED SCHOOL
8. ALL NEW UTILITIES MUST BE LOCATED UNDERGROUND

SOLAR ACCESS NOTE

THIS IS TO AFFIRM THAT THE DESIGN OF THIS SUBDIVISION PROVIDES TO THE EXTENT FEASIBLE FOR FUTURE PASSIVE OR NATURAL HEATING AND COOLING OPPORTUNITIES IN ACCORDANCE WITH THE PROVISIONS OF SECTION 46473.1 OF THE STATE SUBDIVISION MAP ACT

LEGAL DESCRIPTION

PARCEL 2 OF PARCEL MAP NO. 14569 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA

ASSESSOR'S PARCEL NUMBERS

275-480-28

LAMBERT COORDINATES

208-1729

REFERENCE DRAWINGS

24909-0

GRADING NOTES

1. TOTAL AMOUNT OF SITE TO BE GRADED: 3.4 AC.
2. TOTAL AREA 4.455 AC.
3. PERCENT OF TOTAL SITE GRADED: 76%
4. AMOUNT OF SITE WITH STEEP SLOPES: 0.72 AC.
5. * AS DETERMINED BY THE CAL. APPLICATION REQUIREMENTS
6. PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 10%
7. PERCENT OF THE EXISTING STEEP SLOPES PROPOSED TO BE GRADED: 5.5%
8. AMOUNT OF CUT: 12,000 C.Y.D.
9. AMOUNT OF FILL: 0 C.Y.D.
10. AMOUNT OF EXPOSED: 12,000 C.Y.D.
11. MAXIMUM HEIGHT OF FILL SLOPES: 5' AT 2:1
12. MAXIMUM HEIGHT OF CUT SLOPES: 10' AT 3:1
13. RETAINING WALLS: MAXIMUM: 10' TOTAL LENGTH: 1,400' MAXIMUM HEIGHT: 15'

QUANTITIES ARE GEOMETRIC, NO STRUCTURE AND BUILDING INCLUDED

ENGINEERING NOTES

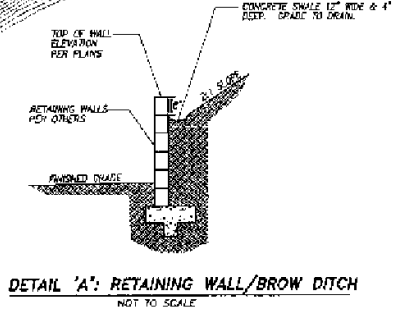
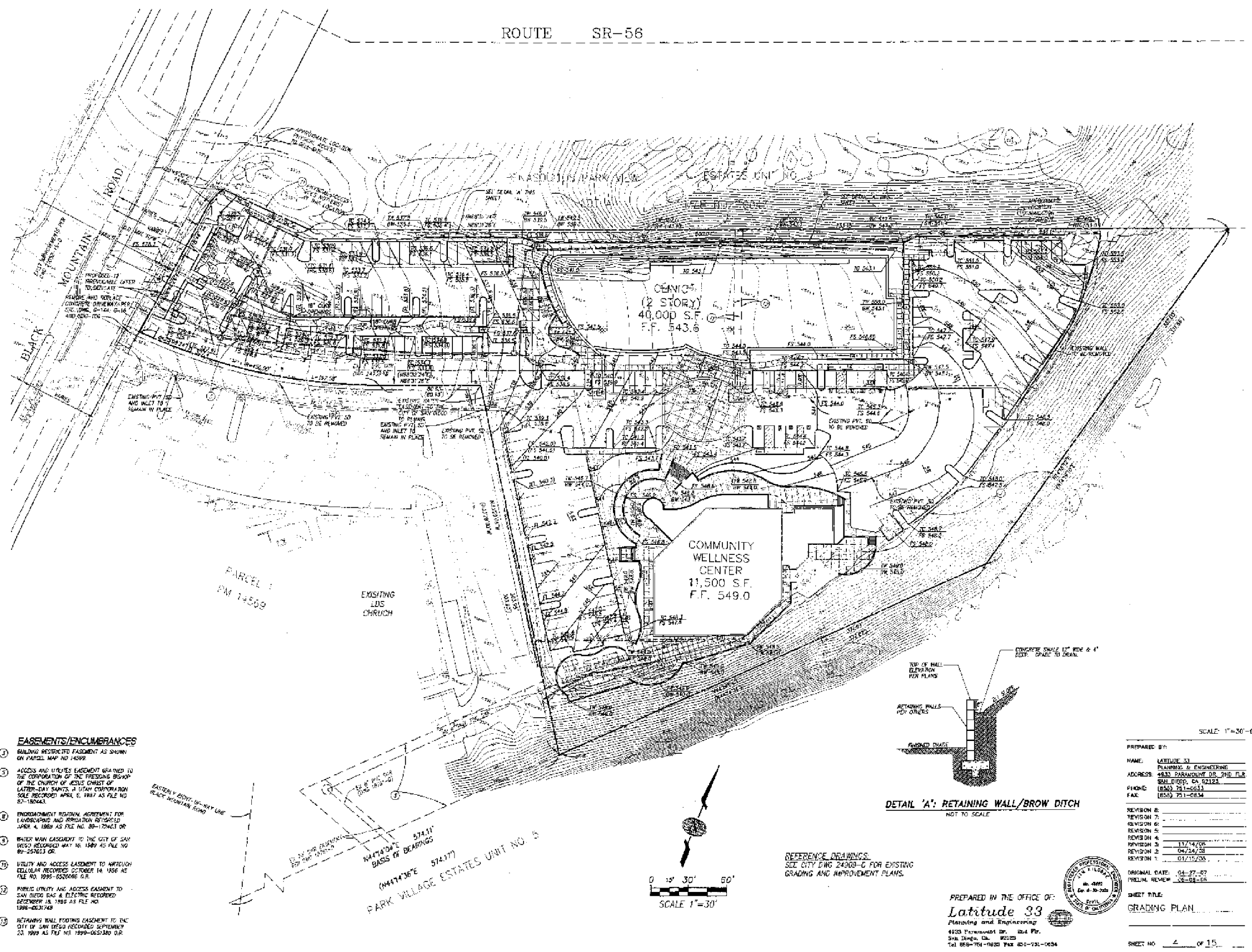
1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ON-GOING PERMANENT BMP MAINTENANCE TO THE SATISFACTION OF THE CITY ENGINEER
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2 DIVISION 1 (DRAINAGE REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO CONSTRUCTION PLANS OR SPECIFICATIONS

LEGEND

- PROJECT BOUNDARY
- EASEMENT
- CHANGING FENCE
- EXISTING SPOT ELEVATION IN FEET
- ITEM NO. OF THE PRELIMINARY REPORT PLOTTED HEREON
- RETURN OF SURVEY
- EX. TRAFFIC SIGNAL
- EX. ASPHALT
- EX. FIRE HYDRANT
- EX. SIGN
- EX. STREET & PARKING LOT UNITS
- EX. HAND HOLE
- EX. WATER METER
- EX. MANHOLE
- EX. SEWER MANHOLE
- EX. STORM DRAIN MANHOLE
- EX. SEWER CLEAN-OUT
- EX. GAS VALVE
- EX. WATER VALVE
- THREE AMBLYTH SHROUS
- RETAINING WALL
- WATER METER
- FIRE HYDRANT (2-4" AND 1-1/2 1/2 COMMERCIAL)
- "A" STORM DRAIN CLEANOUT
- SEWER CLEANOUT
- AC PAVING AND CLASS A AGG. BASE
- 15" PVC PRIVATE STORM DRAIN (SDR 35)
- BRUSH BLOCK
- FDC/SDV
- END CAP
- WATER MAIN (SIZE PER PLAN)
- SEWER MAIN (SIZE PER PLAN)
- DAYLIGHT LINE
- PROPOSED "BAT SLIVER" SEPARATION SYSTEM

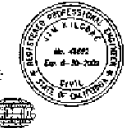
EASEMENTS/ENCUMBRANCES

1. BUILDING RESTRICTED EASEMENT AS SHOWN ON PARCEL MAP NO. 14569
2. ACCESS AND UTILITIES EASEMENT GRANTED TO THE CORPORATION OF THE PRESBYTERIAN BISHOP OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, A UTAH CORPORATION, SOLE RECORDED APRIL 6, 1987 AS FILE NO. 83-180463
3. ENCUMBRANCE RESOLVED AGREEMENT FOR EASEMENT AND PROVISION RESTRICTED APRIL 4, 1989 AS FILE NO. 89-170421 OR
4. WATER MAIN EASEMENT TO THE CITY OF SAN DIEGO RECORDED MAY 16, 1989 AS FILE NO. 89-257633 OR
5. UTILITY AND ACCESS EASEMENT TO ANTHONY CELLULAR RECORDED OCTOBER 14, 1986 AS FILE NO. 1986-020066 OR
6. PUBLIC UTILITY AND ACCESS EASEMENT TO SAN DIEGO GAS & ELECTRIC RECORDED DECEMBER 18, 1986 AS FILE NO. 1986-0031748
7. RETAINING WALL FOOTING EASEMENT TO THE CITY OF SAN DIEGO RECORDED SEPTEMBER 23, 1989 AS FILE NO. 1989-003380 OR



REFERENCE DRAWINGS:
SEE CITY DWG 24909-0 FOR EXISTING
GRADING AND IMPROVEMENT PLANS.

PREPARED IN THE OFFICE OF:
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Planning and Engineering
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SAN DIEGO, CA 92123
Tel 619-791-1885 Fax 619-791-0834

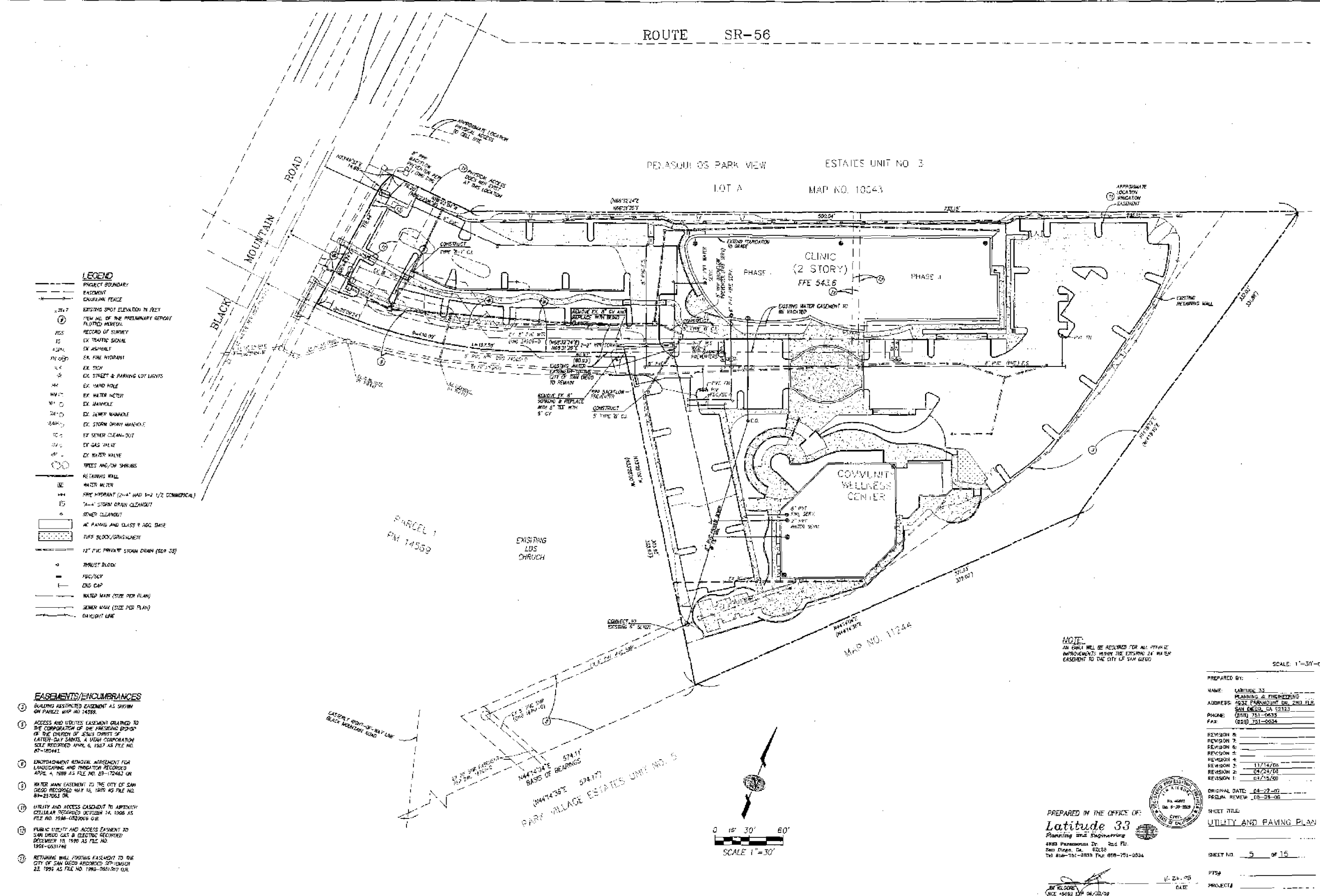


SCALE: 1"=30'-0"	
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REVISION 3:	04/24/05
REVISION 2:	01/15/05
REVISION 1:	
ORIGINAL DATE:	04-27-07
PRELIM. REVIEW:	06-08-08
SHEET TITLE:	GRADING PLAN
SHEET NO.	4 OF 15
PTS:	
PROJECT:	

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PALOMAR
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RANCHO PENASQUITOS
CLINIC & COMMUNITY WELLNESS CENTER
12558 BLACK MOUNTAIN ROAD
SAN DIEGO, CALIFORNIA

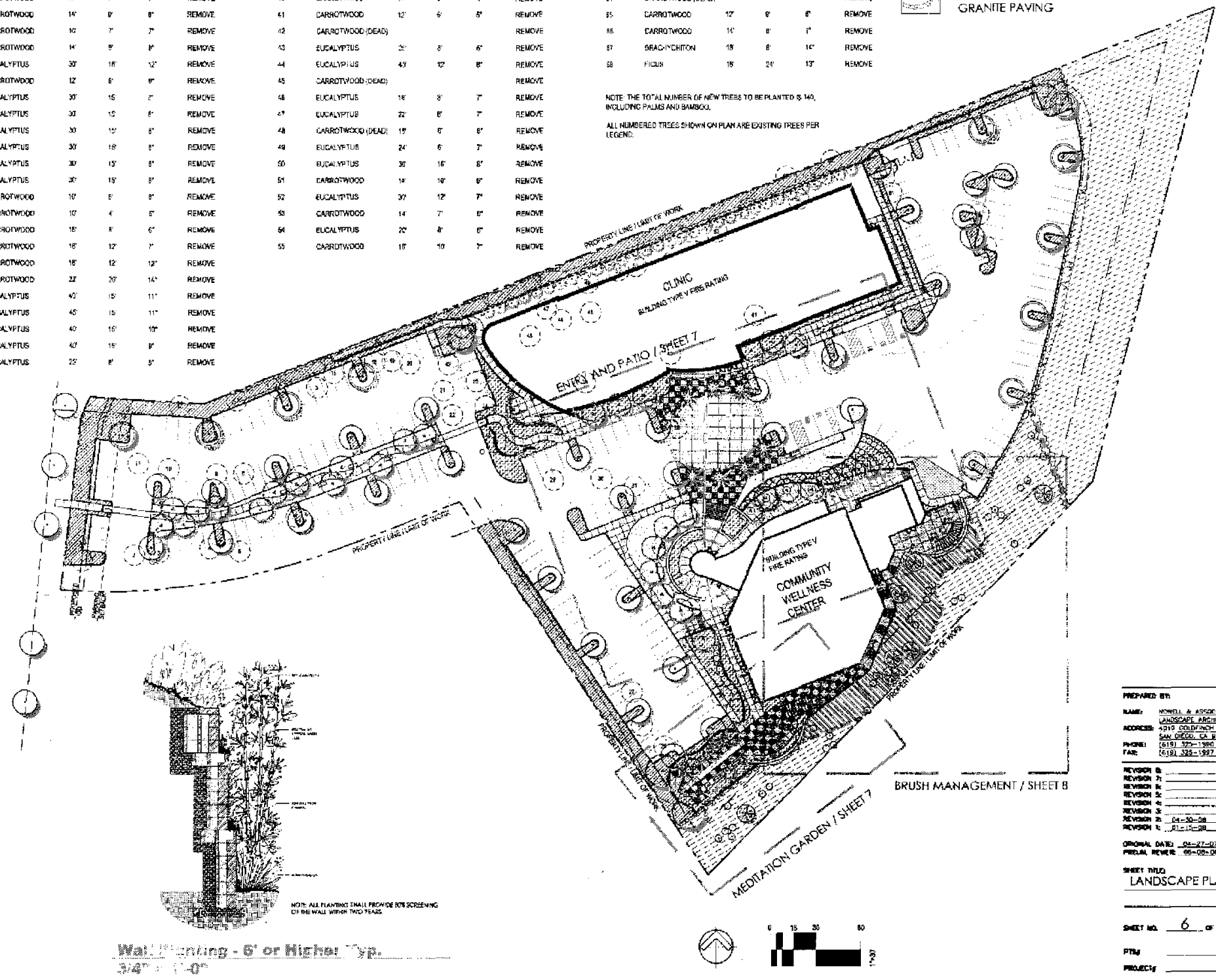


- Plant Material Legend**
Plant sizes are indicated for general reference by height x width.
- STREET TREES**
24" box size
Koeberlinia bipinnata - Chinese Flame Tree, 20' h x 20' w, deciduous broad canopy
- DRIVE AISLE CANOPY TREES**
36" box size
Tremula canadensis - Bittersweet Elm, 40' h x 25' w, evergreen broad canopy
Gleditsia pinnata - Australian Willow, 25' h x 25' w, semi-evergreen
- PARKING LOT ISLANDS TREES**
36" box size
Koeberlinia bipinnata - Chinese Flame Tree, 20' h x 20' w, deciduous broad canopy
Tachibana impatiens - Pink Trumpet Tree, 25' h x 25' w, semi-evergreen
- SMALL FLOWERING COURTYARD TREES**
24" box size
Jacaranda mimosifolia - Orange Myrtle, 25' h x 25' w, deciduous tree
Banksia laevigata - Orchid Tree, 20' h x 20' w, semi-evergreen, understory canopy
- DATE PALM GROVE**
18" BTN
Phoenix zeyheriana - Medford - Medford Date Palm
- BRUSH MANAGEMENT TREES**
Refer to Brush Management Area requirement as described on Sheet 8
- MEDITATION GARDEN**
15' Galton
Aucuba japonica - Strawberry Tree, 30' h x 25' w, evergreen canopy tree
Ardisia cuneata - Kalm's Alder, 30' h x 25' w, deciduous canopy tree
- CLINIC NORTH SIDE**
Banksia laevigata - Orchid Tree - Green Shrub Bamboo, 10-25' h, clumping
Daphniphyllum - Mondo Grass
- PARKING LOT ISLAND SHRUBS**
75% 1 gallon @ 36" o.c., 25% 5 gallon @ 24" o.c.
Carissa m. coccinea - Natal Plum, 3-4' h x 3-5' w
Eucalyptus japonica - Dwarf Japanese Eucalyptus, 2' h x 2' w
Raphanostyle umbellata - Dwarf Yucca Hawthorn, 3' h x 3' w
- COURTYARD GARDEN SHRUBS**
50% 1 gallon @ 18" o.c., 40% 5 gallon @ 24" o.c.
Agave attenuata - Lily of the Nile planted 18" o.c.
Dioscorea alata - Foliage plant, planted 18" o.c.
Hemerocallis sp. - Daylily, 18" h, planted 18" o.c.
Lonicera japonica - Japanese Honeysuckle, 3' h x 3' w
Muhlenbergia frutescens - Muhlenbergia Grass, 3' h x 3' w
Phlox paniculata - Phlox - New Zealand Flax, medium shrub 38" o.c.
Pittosporum tobira - Dwarf Karyo, 3' h x 3' w
Raphanostyle umbellata - Dwarf Yucca Hawthorn, 3' h x 3' w
- GROUND COVERS**
70% 1 gallon @ 18" o.c., 30% 5 gallon @ 24" o.c.
Baccharis pilularis - Dwarf Coyote Bush, 2' x 3'
Forbesia ovata - Blue Fescue, 8" x 6"
Liriodendron - Spreading Sunflower, 2' x 5'
Dianthus sp., 2' x 5'
Oxycoccus sp. - Mondo Grass, 2' x 5'
Myoporum laetifolium, 3-4' h x 3' w
- EXISTING SLOPE PLANTING TO REMAIN**
- HEDGES AND ACCENTS SHRUBS**
Carissa m. coccinea - Natal Plum, 3-4' h x 3-5' w
Eucalyptus japonica - Dwarf Japanese Eucalyptus, 2' h x 2' w
Raphanostyle umbellata - Dwarf Yucca Hawthorn, 3' h x 3' w
Phlox paniculata - Phlox - New Zealand Flax, medium shrub 38" o.c.
Pittosporum tobira - Dwarf Karyo, 3' h x 3' w
Raphanostyle umbellata - Dwarf Yucca Hawthorn, 3' h x 3' w
- BRUSH MANAGEMENT ZONE 1**
See Sheet 8 for Brush Management plant lists
- BRUSH MANAGEMENT ZONE 2**
See Sheet 8 for Brush Management plant lists
- VINES**
VINE POCKETS AT TRELLIS STRUCTURE:
6 gallon
Bougainvillea 'San Diego Red' - San Diego Bougainvillea
- VINES AT RETAINING WALL NORTH SIDE OF CLINIC**
5 gallon
Periwinkle - Periwinkle
- LAWN**
Mammotion 2' Tall Fescue Sod
- DRIVEABLE TURF BLOCK**

EXISTING TREE LEGEND											
NUMBER	TREE NAME	HEIGHT	WIDTH	CALIPER	ACTION	NUMBER	TREE NAME	HEIGHT	WIDTH	CALIPER	ACTION
1	OLIVE	18'	10'	8"	REMOVE	32	EUCALYPTUS	45'	28'	12"	REMOVE
2	CARROTWOOD	18'	8'	8"	REMOVE	33	PURPLE LEAF PLUM	20'	10'	8"	REMOVE
3	CARROTWOOD	18'	8'	8"	REMOVE	34	PURPLE LEAF PLUM	10'	5'	3"	REMOVE
4	CARROTWOOD	12'	6'	6"	REMOVE	35	SOUTHERN MAGNOLIA	16'	8'	8"	REMOVE
5	CARROTWOOD	12'	6'	6"	REMOVE	36	FICUS	25'	25'	12"	REMOVE
6	CARROTWOOD	12'	6'	6"	REMOVE	37	FICUS	25'	25'	12"	REMOVE
7	CARROTWOOD	10'	6'	5"	REMOVE	38	FICUS	25'	25'	12"	REMOVE
8	CARROTWOOD	14'	8'	5"	REMOVE	39	CARROTWOOD	14'	8'	4"	REMOVE
9	CARROTWOOD	17'	8'	5"	REMOVE	40	CARROTWOOD	14'	8'	4"	REMOVE
10	CARROTWOOD	14'	8'	8"	REMOVE	41	CARROTWOOD	12'	6'	5"	REMOVE
11	CARROTWOOD	10'	7'	7"	REMOVE	42	CARROTWOOD (DEAD)				REMOVE
12	CARROTWOOD	14'	8'	8"	REMOVE	43	EUCALYPTUS	25'	8'	6"	REMOVE
13	EUCALYPTUS	30'	18'	12"	REMOVE	44	EUCALYPTUS	45'	12'	8"	REMOVE
14	CARROTWOOD	12'	6'	8"	REMOVE	45	CARROTWOOD (DEAD)				REMOVE
15	EUCALYPTUS	30'	15'	7"	REMOVE	46	EUCALYPTUS	16'	8'	7"	REMOVE
16	EUCALYPTUS	30'	15'	6"	REMOVE	47	EUCALYPTUS	22'	8'	7"	REMOVE
17	EUCALYPTUS	30'	15'	6"	REMOVE	48	CARROTWOOD (DEAD)	15'	8'	8"	REMOVE
18	EUCALYPTUS	30'	18'	8"	REMOVE	49	EUCALYPTUS	24'	6'	7"	REMOVE
19	EUCALYPTUS	30'	15'	6"	REMOVE	50	EUCALYPTUS	30'	18'	8"	REMOVE
20	EUCALYPTUS	30'	15'	6"	REMOVE	51	CARROTWOOD	14'	10'	8"	REMOVE
21	CARROTWOOD	10'	8'	8"	REMOVE	52	EUCALYPTUS	30'	12'	7"	REMOVE
22	CARROTWOOD	10'	4'	6"	REMOVE	53	CARROTWOOD	14'	7'	8"	REMOVE
23	CARROTWOOD	18'	8'	6"	REMOVE	54	EUCALYPTUS	20'	8'	6"	REMOVE
24	CARROTWOOD	18'	12'	7"	REMOVE	55	CARROTWOOD	18'	10'	7"	REMOVE
25	CARROTWOOD	18'	12'	12"	REMOVE						
26	CARROTWOOD	22'	20'	14"	REMOVE						
27	EUCALYPTUS	40'	15'	11"	REMOVE						
28	EUCALYPTUS	45'	15'	11"	REMOVE						
29	EUCALYPTUS	40'	15'	10"	REMOVE						
30	EUCALYPTUS	40'	15'	8"	REMOVE						
31	EUCALYPTUS	25'	8'	5"	REMOVE						

NUMBER	TREE NAME	HEIGHT	WIDTH	CALIPER	ACTION
56	EUCALYPTUS	18'	8'	8"	REMOVE
57	EUCALYPTUS	18'	8'	8"	REMOVE
58	EUCALYPTUS	20'	7'	5"	REMOVE
59	EUCALYPTUS	30'	12'	8"	REMOVE
60	CARROTWOOD	12'	8'	8"	REMOVE
61	CARROTWOOD	12'	6'	6"	REMOVE
62	EUCALYPTUS	28'	6'	7"	REMOVE
63	CARROTWOOD	24'	12'	9"	REMOVE
64	CARROTWOOD (DEAD)				REMOVE
65	CARROTWOOD	12'	8'	8"	REMOVE
66	CARROTWOOD	14'	8'	7"	REMOVE
67	BRACHYDONTON	18'	8'	14"	REMOVE
68	FICUS	18'	24'	13"	REMOVE

NOTE: THE TOTAL NUMBER OF NEW TREES TO BE PLANTED IS 140, INCLUDING PALMS AND BAMBOO.
ALL NUMBERED TREES SHOWN ON PLAN ARE EXISTING TREES PER LEGEND.



- Surface Finish Legend**
- NATURAL GREY CONCRETE
 - LIGHT SANDBLAST
 - MEDIUM SANDBLAST
 - DARK INTEGRAL COLOR CONCRETE BAND
 - POLYMER-STABILIZED DECOMPOSED GRANITE PAVING

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REVISION 10: _____

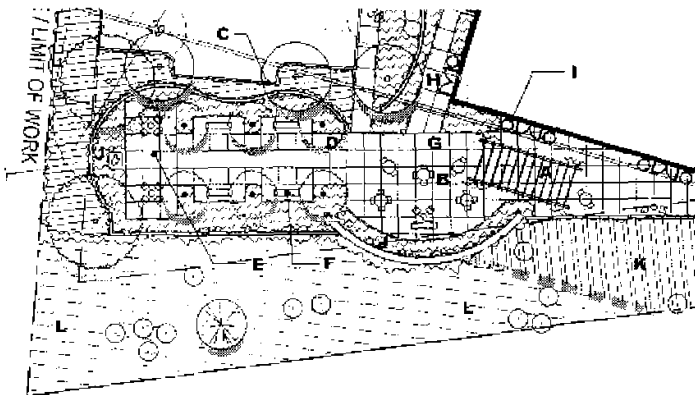
ORIGINAL DATE: 05-27-07
FINAL REVIEW: 05-08-08

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LANDSCAPE PLAN

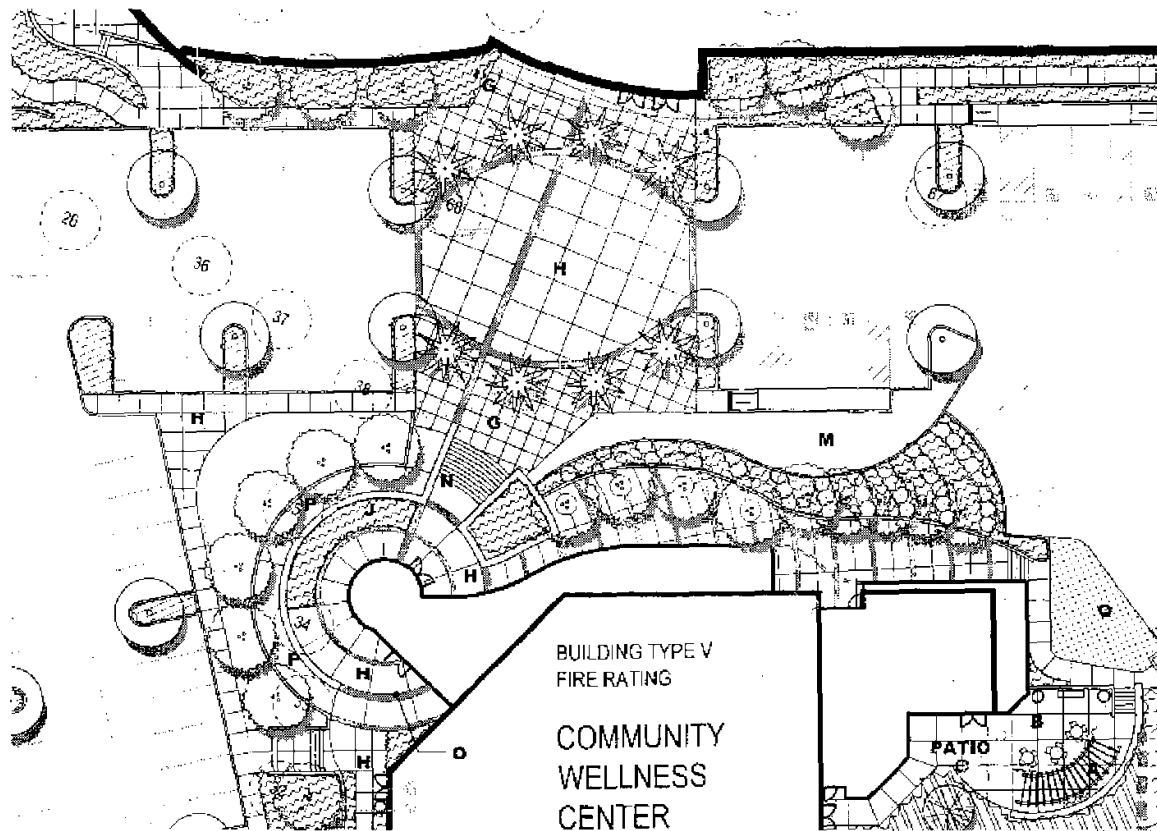
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Plan Key

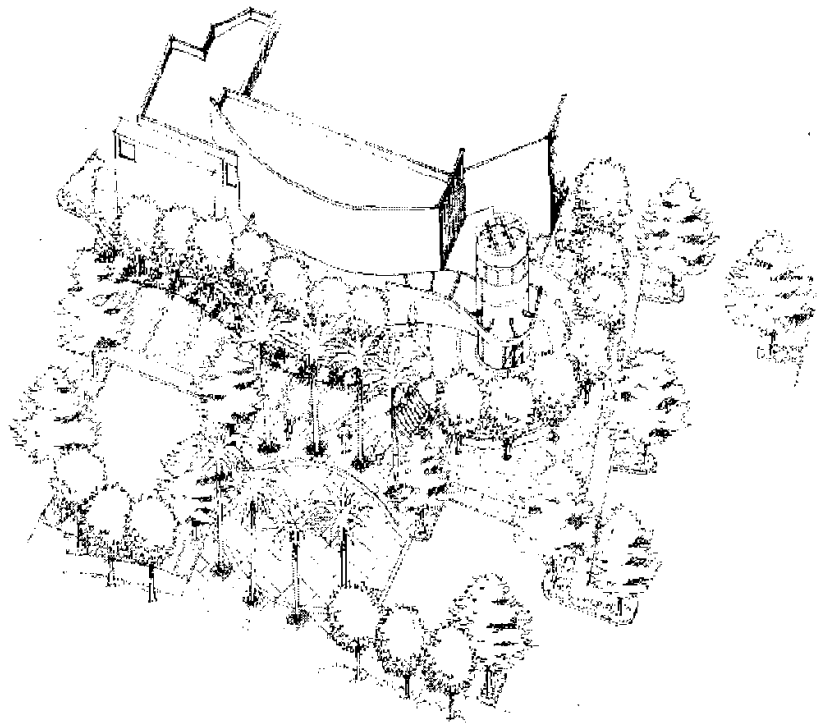
- A Stainless steel trellis w/ powder coat finish w/ climbing Bougainvillea vine. Color to be determined by tenants.
- B Tables with moveable chairs - type and quantity to be determined by tenant(s)
- C 36" high wall (Finish and type to be determined)
- D Water feature: 6' w x 60' l linear pool
- E Area for sculptural element or memorial
- F Seating: 6' long backed benches - type to be determined by tenant(s)
- G Integral color concrete mixture of light sand blast and medium sandblast
- H Natural grey concrete
- I Posts: Precast concrete posts, typ.
- J Planting area, typ.
- K Brush Management Zone I 35' setback from structure
- L Existing native vegetation to be thinned per Brush Management Zone II requirements 65' setback from Zone I.
- M Rolling lawns with soft grasses and shrubs
- N Cascading water feature on a recirculating pump system
- O Dark integral color band, typ.
- P Accessible ramp with handrails
- Q Driveable turf



Meditation Garden
1/16" = 1'-0"

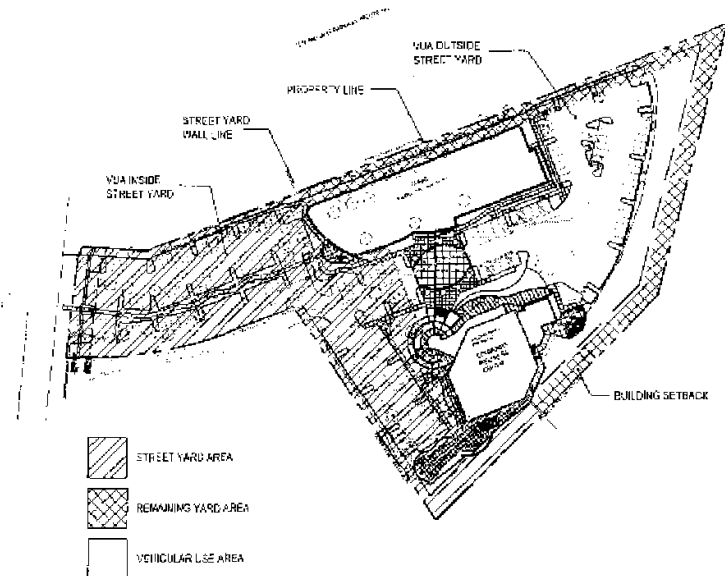


Entry and Patio Layout
1/16" = 1'-0"



Color Tree Axonometric Sketch
(from North to South East)

NOTE: THIS DRAWING IS INTENDED TO ILLUSTRATE DESIGN CHARACTER AND SPATIAL QUALITY



LANDSCAPE AREA CALCULATIONS

Street Yard Area: 79,980 s.f.
Planting Area Required: 16,483 s.f.
Provided: 31,500 s.f.
Excess Area Provided: 15,017 s.f.
Planting Points Required: 3,697
Provided: 4,344
Excess Points Provided: 657
Points Provided by trees: 5140

Vehicular Use Area (outside street yard)
Total Area: 37,570 s.f.
Planting Area Required: 1,725 s.f.
Provided: 6,396 s.f.
Excess Area Provided: 5,271 s.f.
Planting Points Required: 1,125
Provided: 3,550
Excess Points Provided: 2,425
Points Provided by trees: 892

Vehicular Use Area (inside street yard)
Total Area: 47,310 s.f.
Planting Area Required: 2,351 s.f.
Provided: 7,140 s.f.
Excess Area Provided: 4,789 s.f.
Planting Points Required: 2,351
Provided: 3,420
Excess Points Provided: 1,069
Points Provided by trees: 1770

Remaining Yard Area: 20,953 s.f.
Planting Area Required: 6,144 s.f.
Provided: 19,574 s.f.
Excess Area Provided: 13,828 s.f.
Planting Points Required: 1,024
Provided: 3,140
Excess Points Provided: 2,116
Points Provided by trees: 770

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REVISION H: _____

ORIGINAL DATE: 01-27-07
PRELIM REVIEW: 06-08-08

SHEET TITLE:
LANDSCAPE CALCULATIONS
AND AREA DETAILS

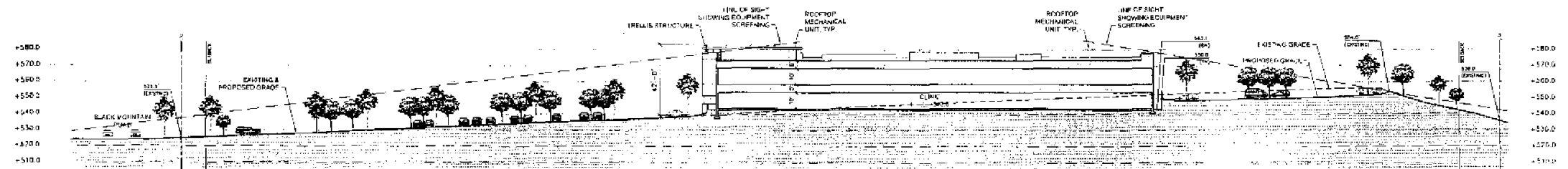
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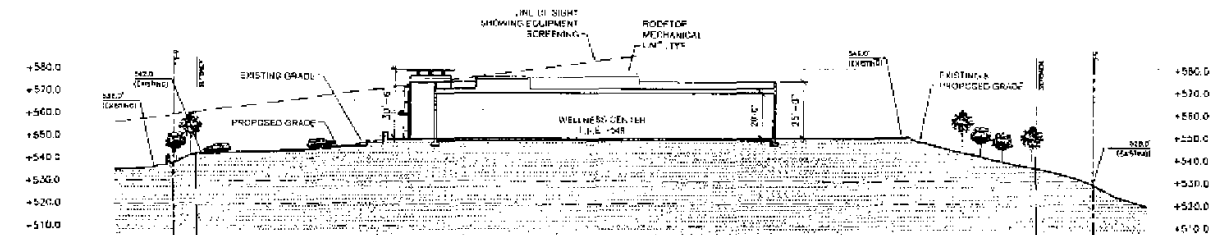
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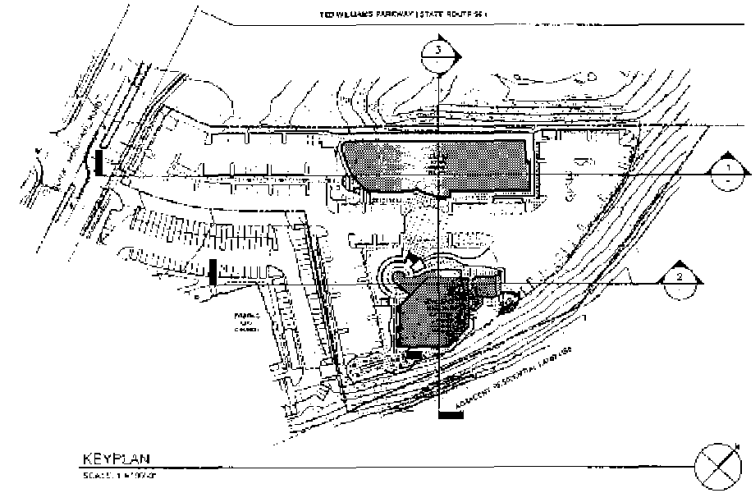
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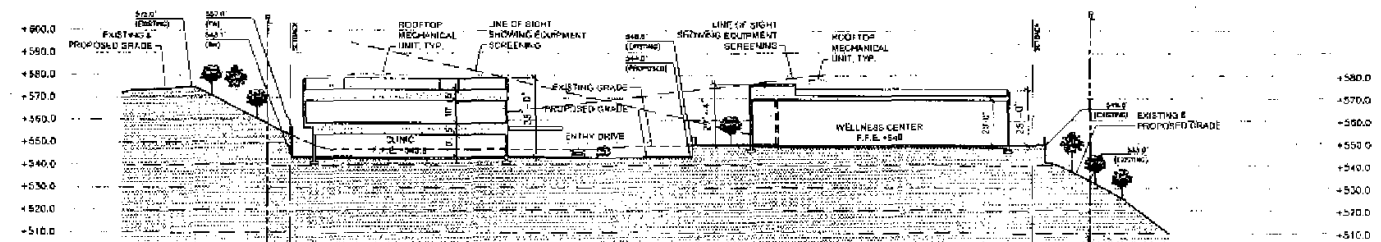
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SCALE: 1/8"=1'-0"



2 WELLNESS CENTER SECTION LOOKING NORTHWEST
SCALE: 1/8"=1'-0"



KEY PLAN
SCALE: 1/4"=1'-0"



3 SITE SECTION LOOKING NORTHEAST
SCALE: 1/8"=1'-0"

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REVISION 1: 01-15-06

ORIGINAL DATE: 02-27-07

PRELIM REVIEW: 06-08-06

SHEET TITLE:

SITE SECTIONS

SHEET NO. 9 OF 15

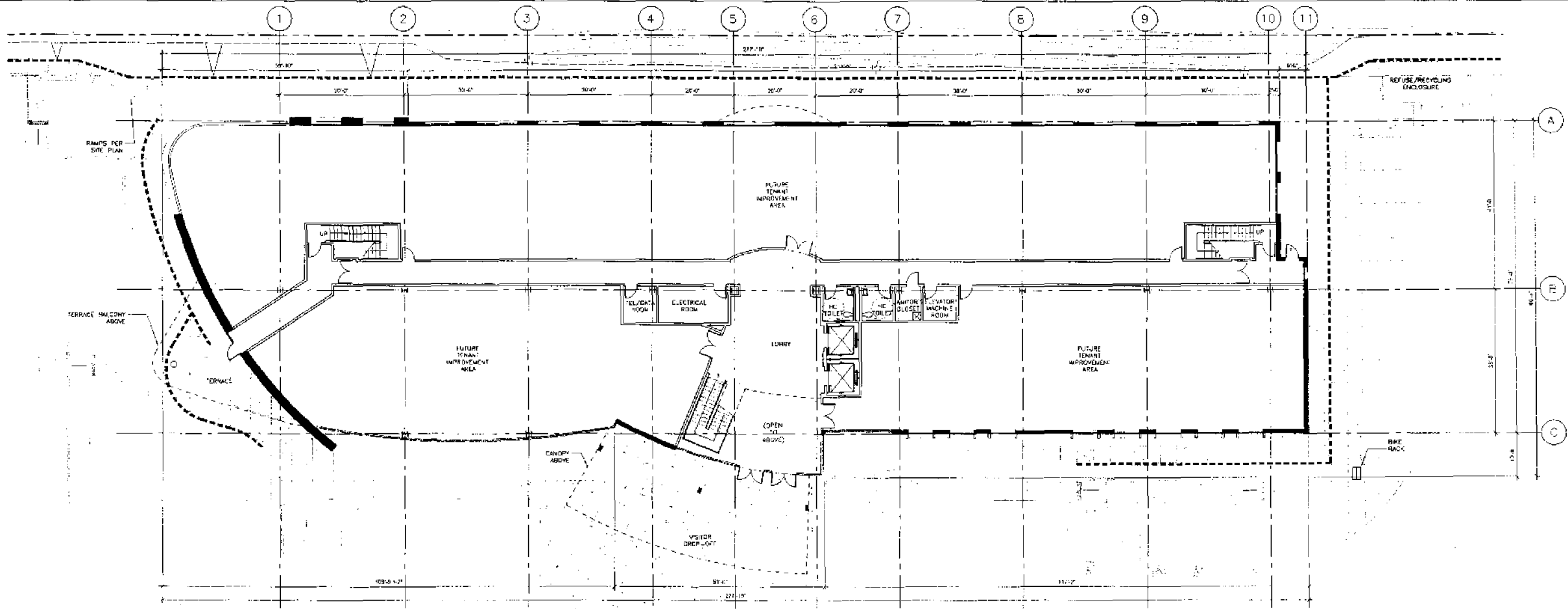
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PROJECT# 200531.10

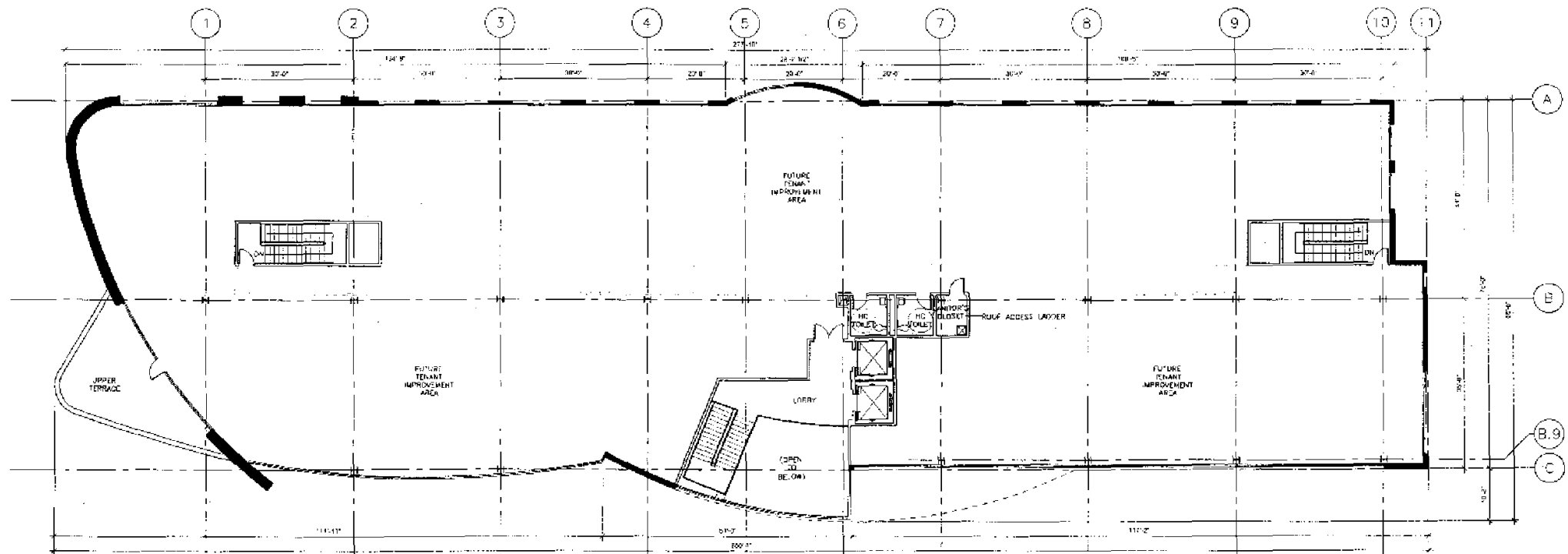
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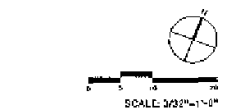
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1 FIRST FLOOR PLAN
SCALE: 3/32"=1'-0"



2 SECOND FLOOR PLAN
SCALE: 3/32"=1'-0"

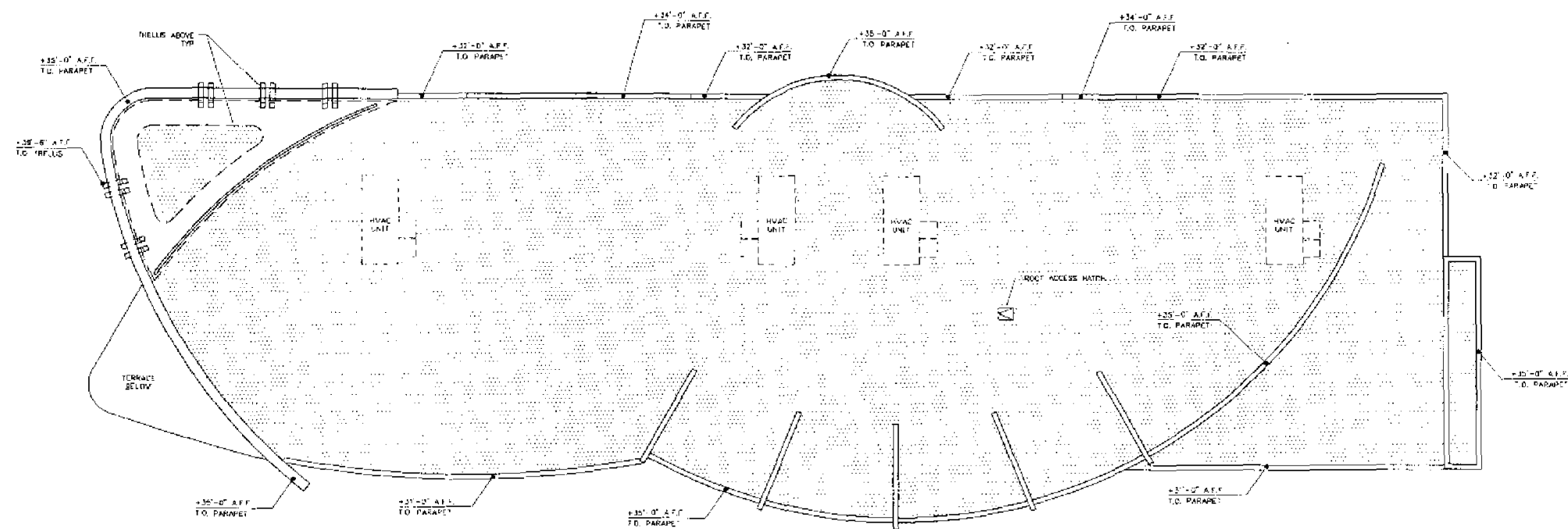


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REVISION 1:	01-15-08
ORIGINAL DATE:	04-27-07
PRELIM. REVIEW:	05-08-08
SHEET TITLE:	CLINIC BUILDING FLOOR PLANS
SHEET NO:	10 OF 15
PTS#	129854
PROJECT#	200331.10

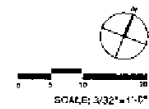
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1 ROOF PLAN
SCALE: 1/8"=1'-0"

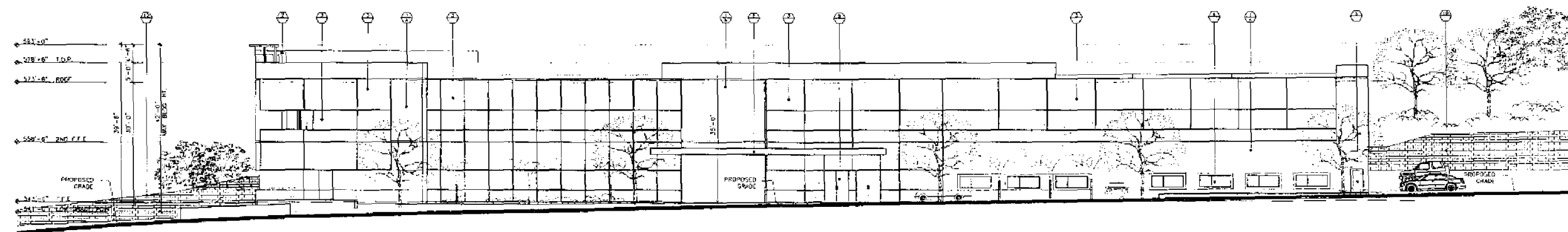


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REVISION 1:	01-18-08
ORIGINAL DATE: 04-27-07	
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SHEET TITLE:	
CLINIC BUILDING	
ROOF PLAN	
SHEET NO. 11 OF 15	
PDS# 129854	
PROJECT# 200531.10	

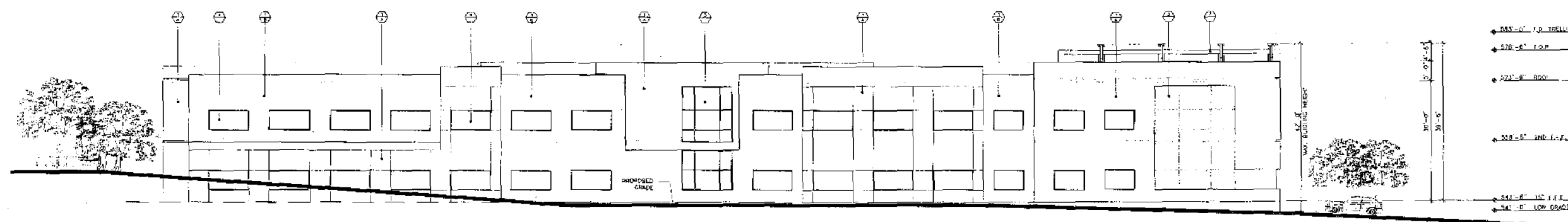
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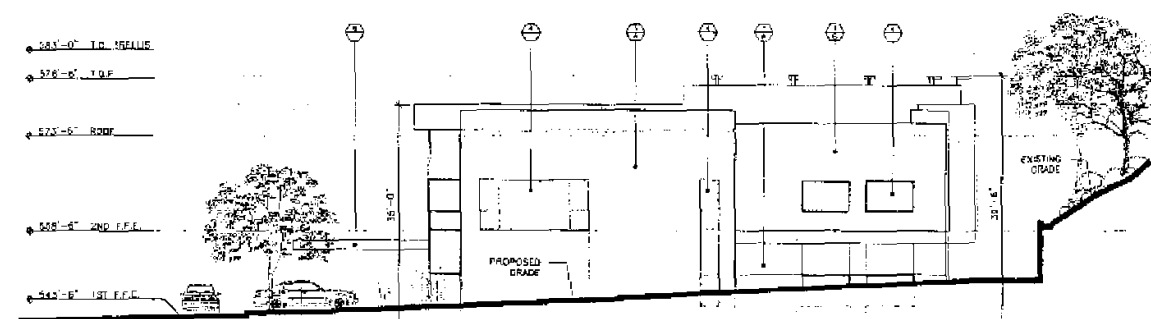
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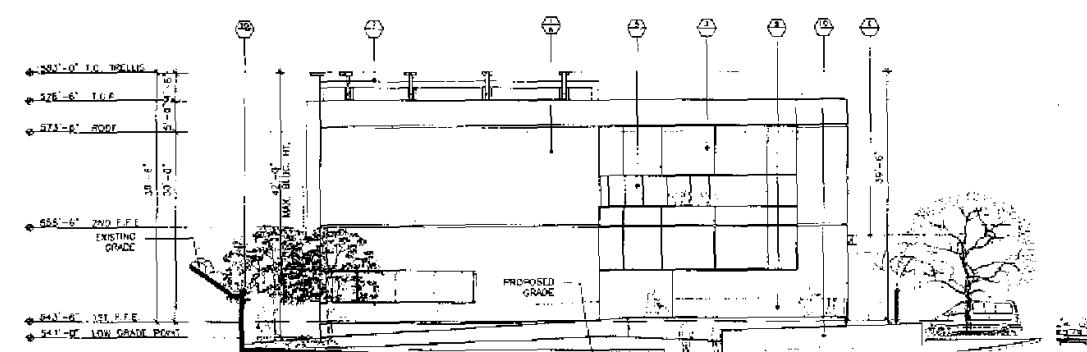
CLINIC SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



CLINIC NORTH ELEVATION
SCALE: 3/32" = 1'-0"



CLINIC EAST ELEVATION
SCALE: 3/32" = 1'-0"



CLINIC WEST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIALS LEGEND

NO. DESCRIPTION

- 1 CONCRETE TILT-UP PANEL
- 2 STUDIOS
- 3 ALUMINUM CLADDING WALL/ROOF
- 4 GLASS W/ INTERNAL BRIDGE
- 5 ALUMINUM WINDOW
- 6 ALUMINUM DOOR
- 7 ALUMINUM CLAD ENTRY CANOPY
- 8 ALUMINUM CLAD ENTRY SYSTEM
- 9 HOT LIPS
- 10 GLASS PANEL DOOR
- 11 RETAINED WALL

COLOR LEGEND

NO. DESCRIPTION

- 1 PAINT COLOR A
- 2 TO MATCH EXISTING EXTERIOR FINISH
- 3 PAINT COLOR B
- 4 TO MATCH EXISTING EXTERIOR FINISH

SCALE: 3/32" = 1'-0"

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REVISION 1: 01-15-08

ORIGINAL DATE: 04-27-07
PRELIM REVIEW: 08-08-08

SHEET TITLE:

CLINIC ELEVATIONS

SHEET NO. 12 OF 15

PTS# 129854

PROJECT# 200531.10

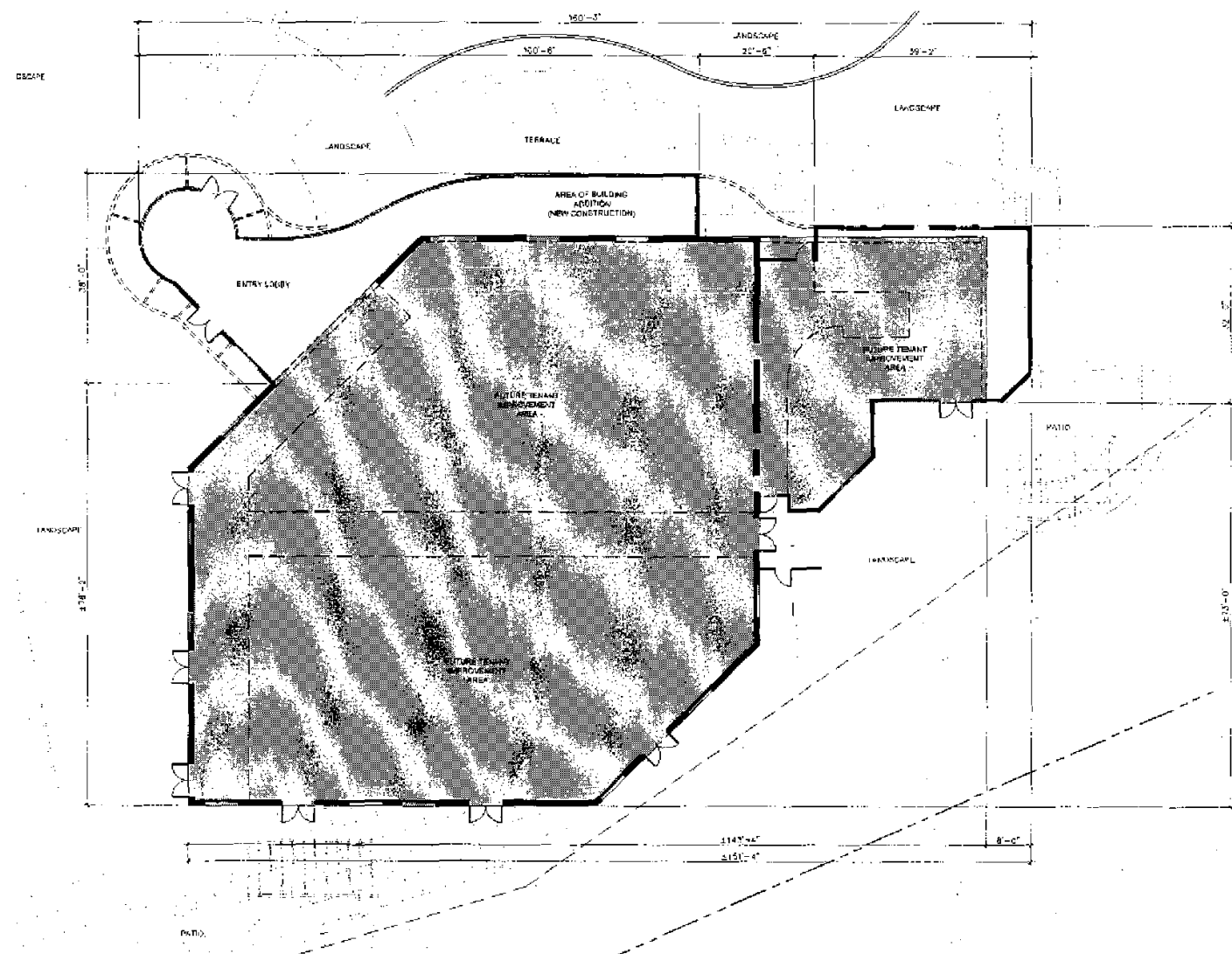
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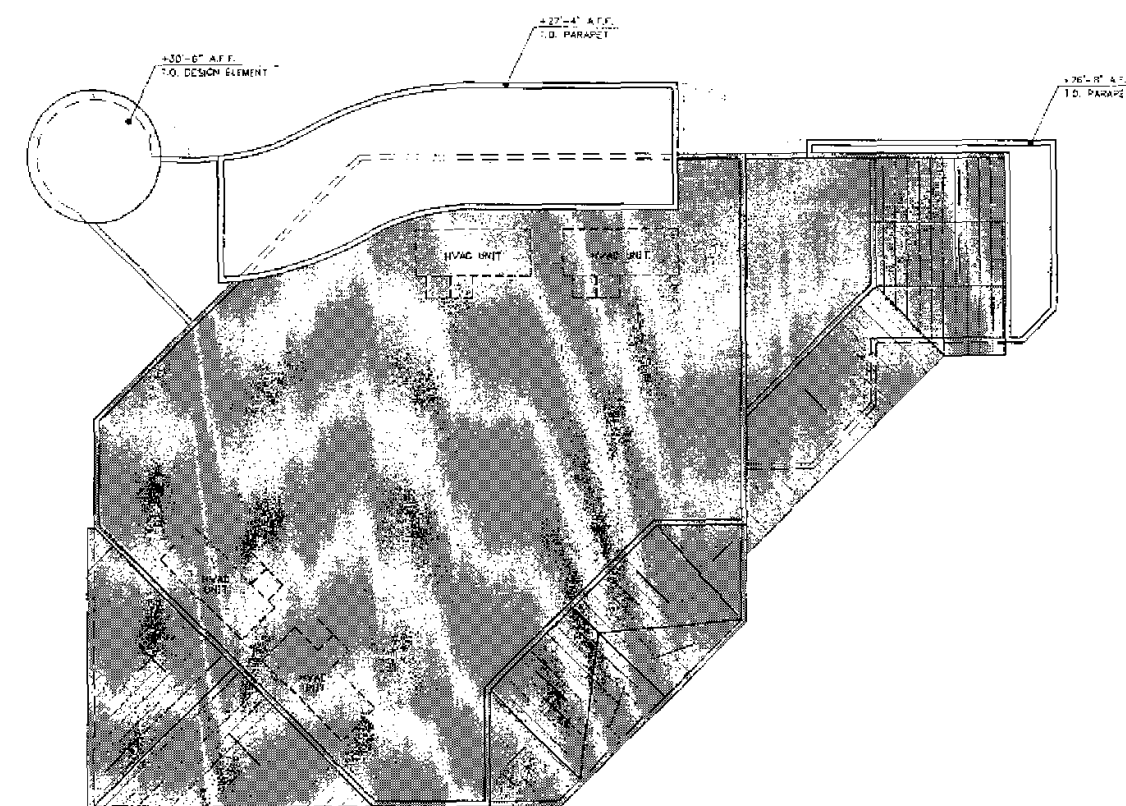
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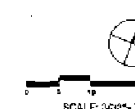
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1 FLOOR PLAN
SCALE: NORTH



2 ROOF PLAN
SCALE: 1/8" = 1'-0"



 EXISTING BUILDING TO REMAIN

 PROPOSED BUILDING

PREPARED BY:

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REVISION 4 _____
REVISION 3 _____
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REVISION 1: 03-15-08

ORIGINAL DATE: 04-27-07
PRELIM. REVIEW: 06-09-08

SHEET TITLE:

COMMUNITY WELLNESS

CEMENT FLOOR ABOVE SLAB

CENTER FLOOR & ROOF PLAN

PAGE NO. 13 OF 15

DATE: _____

PTS# 129854

PROJECT 200531.10

11/20/2017 11:23:11 AM

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COMMUNITY WELLNESS CENTER

55 BLACK MOUNTAIN ROAD

25 BLACK MOUNTAIN ROAD
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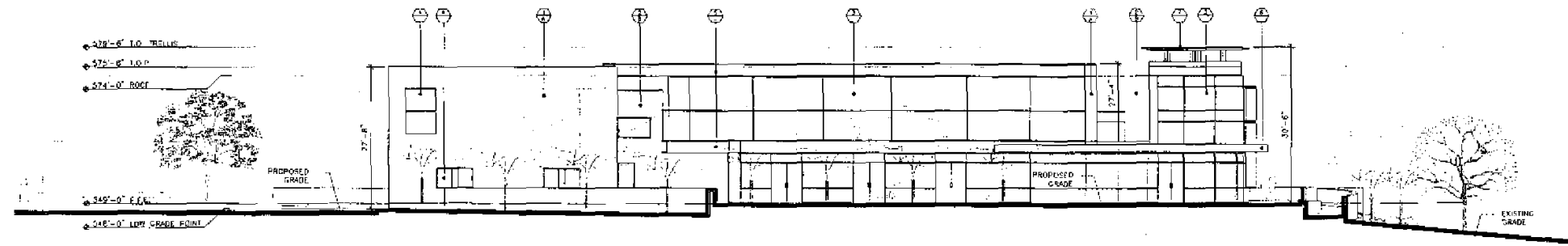
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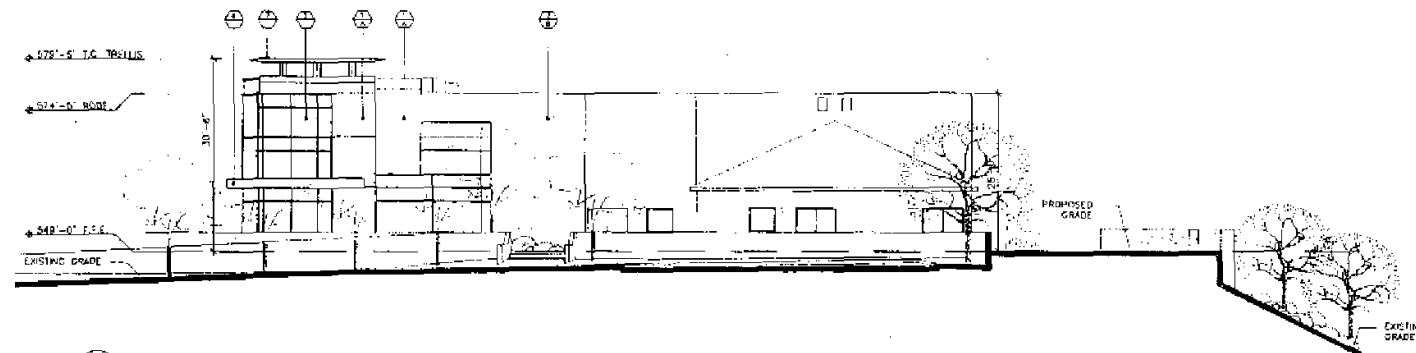
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**RANCHO PENASQUITOS
CLINIC & COMMUNITY WELLNESS CENTER**

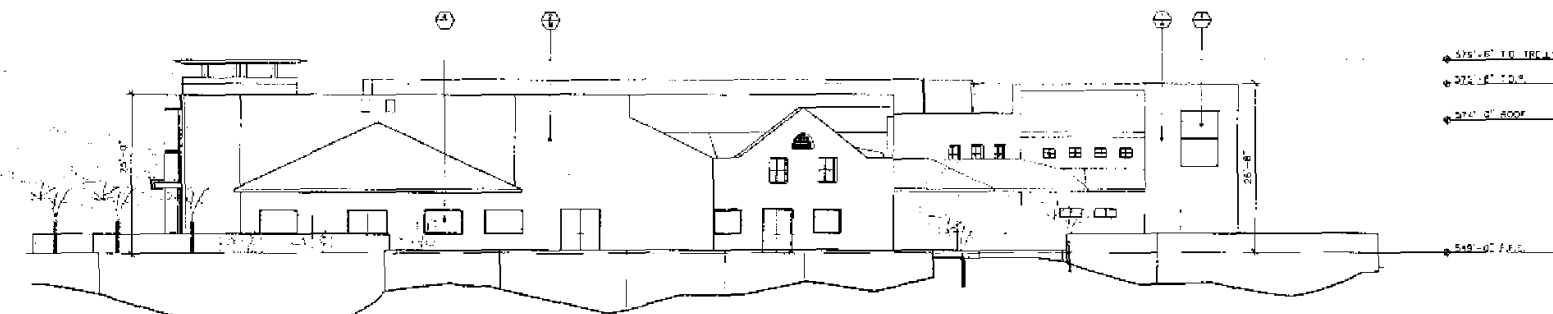
12855 BLACK MOUNTAIN ROAD
SAN DIEGO, CALIFORNIA



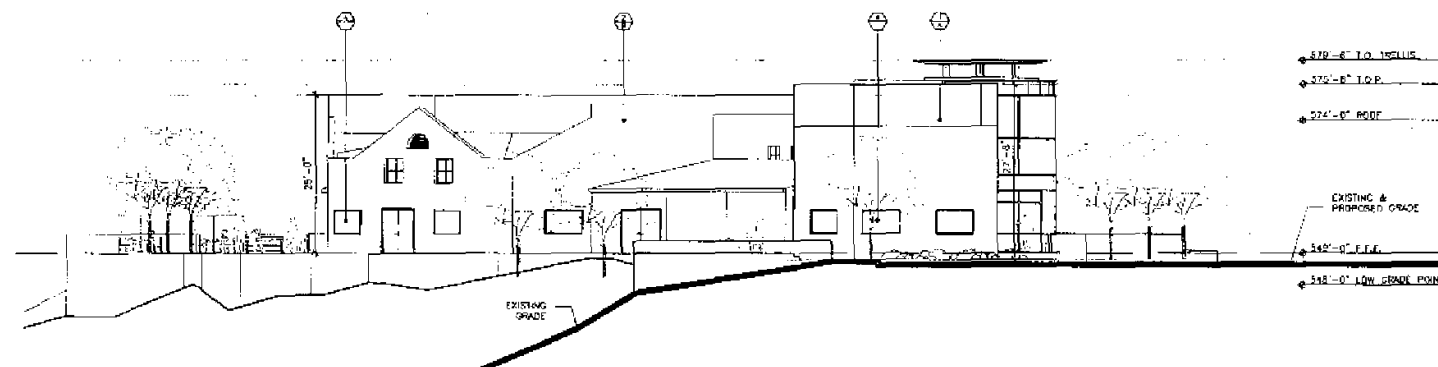
1 WELLNESS CENTER NORTH ELEVATION
SCALE: 3/32"=1'-0"



2 WELLNESS CENTER WEST ELEVATION
SCALE: 3/32"=1'-0"



3 WELLNESS CENTER SOUTH ELEVATION
SCALE: 3/32"=1'-0"



4 WELLNESS CENTER EAST ELEVATION
SCALE: 3/32"=1'-0"

MATERIALS LEGEND

NO.	DESCRIPTION
1	CONCRETE 14"-16" PANEL
2	EXISTING ROOFING TILT-UP PANEL
3	ALUMINUM CLAD HORIZONTAL FINES
4	ALUMINUM CLAD ENTRY CANOPY
5	ALUMINUM CLAD ENTRY SPINER
6	UP AND DOWN LIGHTS, TYP.

COLOR LEGEND

NO.	DESCRIPTION
1	PANT COLOR #1 TO MATCH BANK STAMPS PREVIOUS EDITION
2	EXISTING BUILDING TO REMAIN
3	PANT COLOR #2 TYPICAL TO MATCH BANK STAMPS PREVIOUS EDITION

0 5' 10' 15' 20'
SCALE: 3/32"=1'-0"

PREPARED BY:

NAME: CHILDS MASCARI WARNER
ARCHITECTS
ADDRESS: 1217 KETTER BLVD, STE 100
SAN DIEGO, CA 92101
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REVISION 1: 04-24-08
REVISION 2: 01-25-08
REVISION 3:
REVISION 4:
REVISION 5:
REVISION 6:
REVISION 7:
REVISION 8:
REVISION 9:

ORIGINAL DATE: 04-27-07
PRELIM REVIEW: 06-08-08

SHEET TITLE:
COMMUNITY WELLNESS
CENTER ELEVATIONS

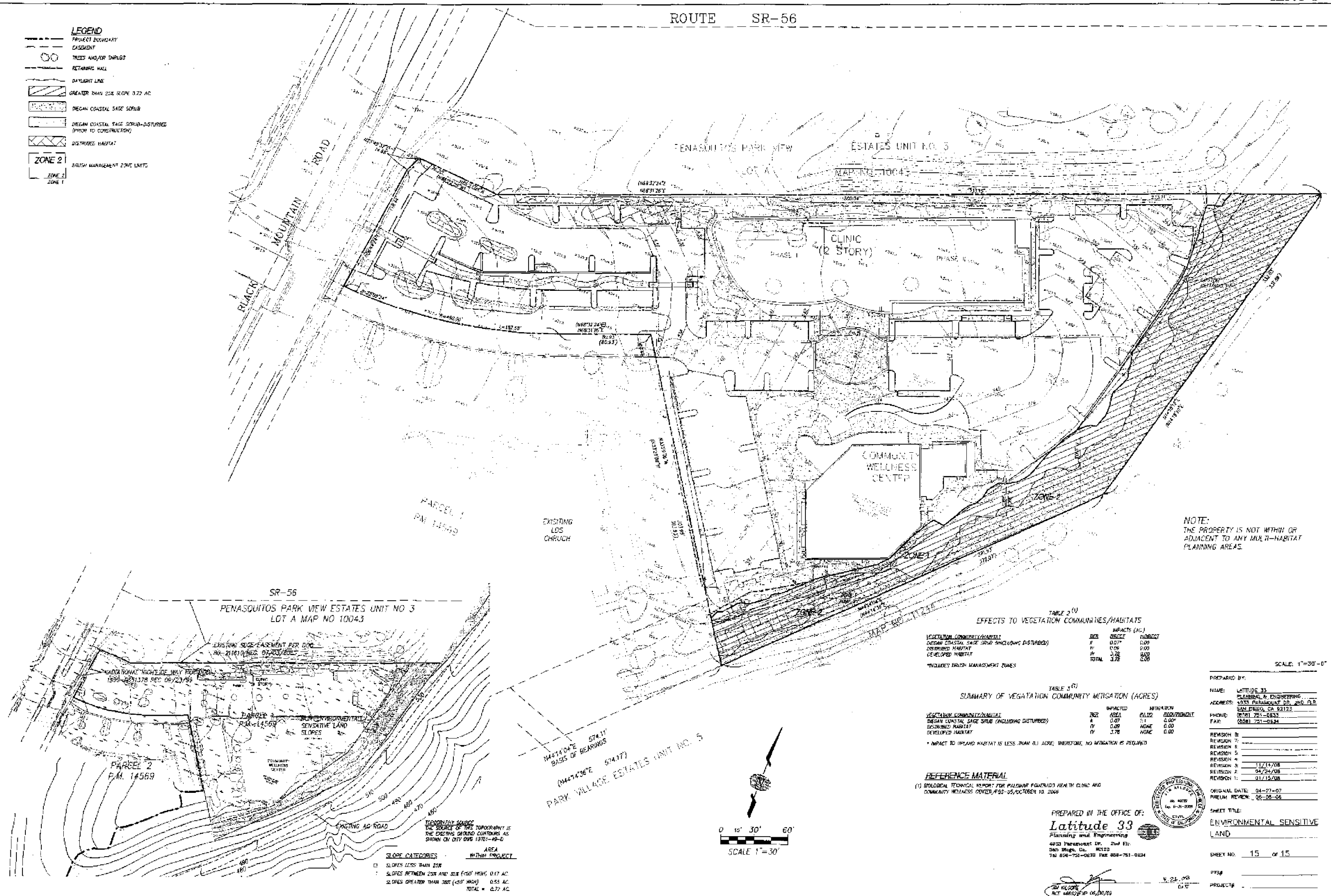
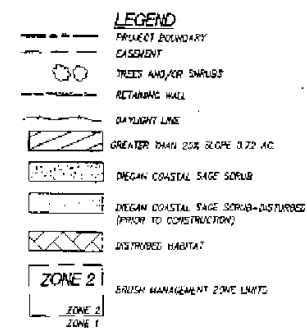
SHEET NO. 14 OF 15

PT# 129854
PROJECT 200531.10

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PALOMAR
POMERADO
HEALTH
SPECIALIZING IN YOU

RANCHO PENASQUITOS
CLINIC & COMMUNITY WELLNESS CENTER
12855 BLACK MOUNTAIN ROAD
SAN DIEGO, CALIFORNIA



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12558 BLACK MOUNTAIN ROAD
SAN DIEGO, CALIFORNIA

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-7821

SITE DEVELOPMENT PERMIT NO. 447403
PLANNED DEVELOPMENT PERMIT NO. 447402
COMMUNITY WELLNESS CAMPUS
PROJECT NO. 129854 [MMRP]
CITY COUNCIL

This Site Development Permit No. 447403 and Planned Development Permit No. 447402 is granted by the City Council of the City of San Diego to PALOMAR POMERADO HEALTH, Michael H. Covert, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0504 and 126.0604. The 4.45 acre site is located at 12855 Black Mountain Road within the Rancho Penasquitos Community Plan. The project site is legally described as Parcel 2 of Map No. 14569.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish portions of the existing building, retain the nave portion of the existing chapel that will be incorporated into the wellness center and construct a 40,000 square foot urgent care facility and an 11,500 square foot wellness center, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 9, 2009, on file in the Development Services Department.

The project shall include:

- a. Demolition of portions of the existing building, preserving the nave portion of the existing chapel to be incorporated in the wellness center building;
- b. Construction of a one-story, 11,500 square-foot wellness center and a two-story, 40,000 square-foot clinic;
- c. The retaining wall along the northern portion of the site is 510 feet long and an approximate length of 293 feet varies in height from 10 to 14 feet. The portions of the retaining wall exceeding 12 feet require the requested deviation;

- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Off-street parking; and
- f. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
4. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site

improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

8. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project

12. The mitigation measures specified in the Mitigation Monitoring and Reporting Program, and outlined in Mitigated Negative Declaration for PPH Rancho Penasquitos Satellite Medical

Facility, Prepared by PBS&J, dated June 2007, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Mitigated Negative Declaration for PPH Rancho Penasquitos Satellite Medical Facility, Prepared by PBS&J, dated June 2007, satisfactory to the Development Services Department and the City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

Air Quality
Biological Resources
Archaeological Resources
Noise

14. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

ENGINEERING REQUIREMENTS:

15. The Owner/Permittee shall dedicate 1/2 of a 142 foot wide right-of-way and shall provide 1/2 of 98 feet of pavement, curb, gutter, and five-foot wide sidewalk within a ten-foot curb to property line distance, satisfactory to the City Engineer.

16. Prior to the issuance of any building permit, the Owner/Permittee shall replace the existing driveway with City standard driveway, on Black Mountain Road, per Standard Drawing G-14A, G-16 and SDG-100, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate and show the type and location of all post construction Best Management Practices (BMP's) on the final construction drawings, consistent with the approved Water Quality Technical Report.

20. The drainage system for this project shall be private and will be subject to approval by the City Engineer.

21. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to

requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

22. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 99 08 and the Municipal Storm Water Permit, Order No. 2001-01 (NPDES General Permit No. CAS000002 and CA S0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.

23. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 99 08 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in Section C.7 of SWRCB Order No. 99 08 DWQ.

LANDSCAPE REQUIREMENTS:

24. Prior to issuance of construction permits, the Owner/Permittee shall submit landscape construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the Land Development Manual Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A", on file in the Office of the Development Services Department.

25. Prior to issuance of any construction permits, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Land Development Manual, Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A", Landscape Development Plan, on file in the Office of the Development Services Department.

26. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

27. The Owner/Permittee shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual, Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. A Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to a Certificate of Occupancy.

30. Prior to issuance of construction permits, the Owner/Permittee shall ensure that all proposed landscaping, especially landscaping adjacent to native habitat and/or Multiple Habitat Planning Area (MHPA), shall not include exotic plant species that may be invasive to native habitats. Plant species found within the California Invasive Plant Council's (Cal-IPC) Invasive Plant Inventory and the City of San Diego's Land Development Manual, Landscape Standards are prohibited.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

31. The Owner/Permittee shall implement the following requirements in accordance with the Modified Brush Management Program shown on Exhibit "A", Brush Management Plan, on file in the Office of the Development Services Department.

32. Prior to issuance of any construction permits for grading, Landscape Construction Documents required for the construction permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A".

33. Prior to issuance of any construction permits, a complete set of Brush Management Construction Documents shall be submitted for approval to the Development Services Department and the Fire Marshall. The construction documents shall be in substantial conformance with Exhibit "A" and shall comply with the Uniform Fire Code, M.C. 55.0101; the Land Development Manual, Landscape Standards; and the Land Development Code, Landscape Regulations Section 142.0412.

34. The Modified Brush Management Program shall implement two zones consistent with the Brush Management Regulations of the Land Development Code Section 142.0412(i) as follows: Brush Management Zone One shall fall between the proposed building and the top of slope. All Zone One landscaping shall be under a Modified Brush Management Program per the Fire Marshall. Due to the limited property boundaries on the south side of the subject site, Brush Management Zone Two has been modified or reduced in width (less than 65 feet) per the Fire Marshall.

35. Fire-Rated construction materials shall be proposed for the clinic building in lieu of a Brush Management Program. These structural enhancements shall be in addition to the standard requirements found in LDC Section 145.0502 of the Building Regulations.

36. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while non-combustible accessory structures may be approved within the designated Zone One area subject to Fire Marshall and Development Services Department approval.

37. The following note shall be provided on the Brush Management Construction Documents: "It shall be the responsibility of the Permittee to schedule a pre-construction meeting on-site with the contractor and the Development Services Department to discuss and outline the implementation of the Modified Brush Management Program."

38. In Zone One, plant material shall be selected to visually blend with the existing hillside vegetation. No invasive plant material shall be permitted as jointly determined by the Landscape Analysis Section [LAS] and the Environmental Analysis Section [EAS].

39. All new Zone Two planting shall be temporarily irrigated with an above-ground irrigation system until established. Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing weeds, and maintaining the temporary irrigation system. Only native vegetation shall be planted or hydroseeded. If Zone Two is being revegetated, 50% of the planting area shall be seeded with material that does not grow taller than 24 inches.

40. Prior to final inspection and issuance of any Certificate of Occupancy, the approved Modified Brush Management Program shall be implemented. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Land Development Manual, Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

41. No fewer than 206 off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the Development Services Department.

42. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

43. Prior to the issuance of construction permits, the Owner/Permittee shall file an application with the Development Services Department for the rescission of Conditional Use Permit Nos. C-19501 and 4792. The said development permits shall be rescinded in accordance with SDMC Section 126.0110(b).

44. All signs associated with this development shall be consistent with sign criteria established by City-wide sign regulations.

45. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

WASTEWATER REQUIREMENTS:

46. All onsite sewer facilities serving this site shall be private.

47. Prior to the issuance of any engineering or building permits, the Owner/Permittee shall provide evidence of the private sewer easement across the adjacent lot to the southwest that benefits this project's lot, satisfactory to the City of San Diego Director of Public Utilities.

48. Prior to the issuance of any engineering or building permits, the Owner/Permittee shall provide an Encroachment Maintenance and Removal Agreement for all private utilities installed in or over the public sewer easement.

49. The Owner/Permittee shall design and construct any proposed public sewer facilities to the most current edition of the City of San Diego's Sewer Design Guide.

50. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Plumbing Code and shall be reviewed as part of the building permit plan check.

51. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities.

WATER REQUIREMENTS:

52. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the cut & plug and abandonment of the easterly portion of the existing 8-inch PVC easement main.

53. Construction on the remaining portion of the easement main shall include removal of the 90 degree bend and replacement with an 8-inch tee and 8-inch gate valve.

54. To the north of the 8-inch tee, the existing 8-inch gate valve will be removed and replaced with a blind flange.

55. The Owner/Permittee will be required to process B-Sheet and D-Sheet drawings for the water easement abandonment, the cut & plug and abandonment of a portion of the easement water main and the proposed main additions/alterations.

56. An Encroachment, Maintenance and Removal Agreement will be required for all private encroachments into the existing 24-foot-wide City of San Diego water easement.

57. Prior to the issuance of any building permits, the Owner/Permittee shall apply for plumbing permits for the installation of appropriate private back flow prevention devices on all proposed water services to the development, including all domestic, fire and irrigation services, in a manner satisfactory to the Cross Connection Control Group, the Director of Public Utilities and the City Engineer.

58. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall install fire hydrants at locations satisfactory to the Fire Department, the Director of Public Utilities and the City Engineer. Fire hydrants shall be located a minimum of five feet from any structures above, at or below grade. All on-site fire hydrants shall be private.

59. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall design and construct new public water facilities in acceptable alignments and rights-of-way.

60. Prior to the issuance of any certificates of occupancy all public water facilities necessary to serve this development, including meters and services, and the cut & plug and abandonment of the easterly portion of the easement main, shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

61. All on-site water facilities shall be private including domestic, fire and irrigation systems.

62. Prior to the issuance of any building or engineering permits, except grading, the Owner/Permittee shall grant adequate water easements over all public water facilities that are not located within fully improved rights-of-way, satisfactory to the Director of Public Utilities and the City Engineer. All paving within easements shall conform to Schedule "J" or better. Easements, as shown on approved Exhibit "A", will require modification based on standards at final engineering.

63. It is the sole responsibility of the Owner/Permittee for any damage caused to or by public water facilities, adjacent to the project site, due to the construction activities associated with this development. In the event any such facility loses integrity then, prior to the issuance of any certificates of occupancy, the Owner/Permittee shall reconstruct any damaged public water facility in a manner satisfactory to the Water Department Director and the City Engineer.

64. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities and associated easements, as shown on approved Exhibit "A", will require modification based on standards at final engineering.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on April 9, 2009, Resolution No. PC-XXXX.

ATTACHMENT 7

Site Development Permit No. 447403
Planned Development Permit No. 447402
April 9, 2009

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

Laura C. Black, AICP
TITLE: Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

PALOMAR POMERADO HEALTH
Owner/Permittee

By _____
Michael H. Covert
President and CEO

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION RESOLUTION NO. XXXX-PC
SITE DEVELOPMENT PERMIT NO. 447403
PLANNED DEVELOPMENT PERMIT NO. 447402
COMMUNITY WELLNESS CENTER [MMRP]
PROJECT NO. - 129854

WHEREAS, PALOMAR POMERADO HEALTH, Michael H. Covert, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish portions of the existing building, retain the nave portion of the existing chapel that will be incorporated into the wellness center and construct a 40,000 square foot urgent care facility and an 11,500 square foot wellness center (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 447403 and 447402) on portions of a 4.45 acre site;

WHEREAS, the project site is located at 12855 Black Mountain Road within the Rancho Peñasquitos Community Plan;

WHEREAS, the project site is legally described as Parcel 2 of Map No. 14569;

WHEREAS, on April 9, 2009, the Planning Commission of the City of San Diego considered Site Development Permit No. 447403 and Planned Development Permit No. 447402 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated April 9, 2009.

FINDINGS:

Planned Development Permit - Section 126.0604

1. The proposed development will not adversely affect the applicable land use plan.

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road. The project site is designated "Religious Facilities" within the Rancho Peñasquitos Community Plan. The proposed project site would be re-designated in the Rancho Peñasquitos Community Plan as "General Institutional" from "Religious Facilities". The proposed project is consistent with the use and intensity for the General Institutional land use designation. Palomar Pomerado Health (PPH), covering 800 square miles, is the largest healthcare district in California. The PPH District has an immediate need to modernize and expand the facilities and services available to serve their constituents. One of the district's key methods of improving service delivery is to establish satellite facilities to augment existing and proposed hospitals in order to improve access to local healthcare services and meet projected future demands. The District's adopted Facilities Master Plan has identified the need for a satellite facility in Rancho Peñasquitos, which is within the

ATTACHMENT 8

boundaries of the District's existing service area. PPH determined the need and community benefit of establishing Outpatient Satellite facilities in communities throughout the district to improve access to local healthcare services. Therefore, the project will not adversely affect the adopted land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed development has been designed and will be constructed to meet all applicable zoning codes, building, fire and other regulations applicable to this type of development as imposed by the City of San Diego, the State of California and all federal agencies. A Mitigated Negative Declaration (MND) has been prepared for the project in accordance with the California Environmental Quality Act (CEQA). A Mitigation Monitoring Reporting Program (MMRP) will be implemented in the following issue areas: Air Quality, Biological Resources, Historical Resources (Archaeology), and Noise. As such, the proposed development will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code.

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed development complies with general institutional as the proposed designation within the Rancho Penasquitos Community Plan. Further, the proposed development is consistent with the scale of the buildings adjacent to the project site. The proposed development is architecturally consistent in terms of style and materials with the surrounding development and the adjoining community.

The proposed development generally has been designed to comply with the regulations of the Land Development Code, including requirements for setbacks, floor area ratio, street design, open space, grading, landscaping, parking, etc. and all other requirements of the development criteria for the above zones, as allowed through a Planned Development Permit. Implementation of the proposed project will require a deviation from the retaining wall height along the area behind the proposed clinic, along the northern property line, adjacent to Caltrans property and State Route 56. The proposed retaining wall along the northern portion of the site is 510 feet long and an approximate length of 293 feet varies in height from 10 to 14 feet. The portions of the retaining wall exceeding 12 feet require the requested deviation from the San Diego Municipal Code. All other proposed walls and retaining walls within the project site are consistent with the San Diego Municipal Code.

ATTACHMENT 8

Upon the approval of such deviation, the project will fully comply with the regulations of the Land Development Code.

4. The proposed development, when considered as a whole, will be beneficial to the community.

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed development complies with general institutional as the proposed designation within the Rancho Penasquitos Community Plan. The project area was developed through Conditional Use Permit No. 4792, which allowed for the operation of a church, school and day care facility on the project site. The church has moved to another location and school/day care operations ceased in August 2006. There are no current active uses on site.

The proposed project has been designed and will be developed in accordance with the intent of the Rancho Penasquitos Community Plan to assure that the theme, architectural character, development considerations and other functional concepts of the Plans are implemented. The proposed project would also be consistent with the Progress Guide and General Plan.

Palomar Pomerado Health (PPH), covering 800 square miles, is the largest healthcare district in California. The PPH District has an immediate need to modernize and expand the facilities and services available to serve their constituents. One of the district's key methods of improving service delivery is to establish satellite facilities to augment existing and proposed hospitals in order to improve access to local healthcare services and meet projected future demands. The District's adopted Facilities Master Plan has identified the need for a satellite facility in Rancho Peñasquitos, which is within the boundaries of the District's existing service area. PPH determined the need and community benefit of establishing Outpatient Satellite facilities in communities throughout the district to improve access to local healthcare services. As such, the proposed uses are appropriate at the proposed location and the proposed development will be beneficial to the entire community.

5. Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The project is requesting a deviation for the retaining wall height at the

ATTACHMENT 8

location behind the proposed clinic building along the northern portion of the site. The proposed retaining wall along the northern portion of the site is 510 feet long and an approximate length of 293 feet varies in height from 10 to 14 feet. The portions of the retaining wall exceeding 12 feet require the requested deviation from the San Diego Municipal Code. All other proposed walls and retaining walls within the project site are consistent with the San Diego Municipal Code. The proposed location of the retaining wall requiring a deviation for height allows for the clinic building to be sited allowing for internal vehicular circulation and an adequate separation from the proposed wellness center.

Additionally, this retaining wall and all others proposed within the project site have been designed throughout to minimize any potential visual impact to the maximum extent feasible. The proposed project will be designed in conformance with applicable development regulations and the Rancho Penasquitos Community Plan. The Rancho Penasquitos Community Plan would redesignate the project site for general institutional use with the proposed community plan amendment. The proposed project is consistent with this land use recommendation and development standards in effect for the subject property pursuant to the adopted Rancho Penasquitos Community Plan.

Site Development Permit - Section 126.0504

Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan;

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road. The project site is designated "Religious Facilities" within the Rancho Peñasquitos Community Plan. The proposed project site would be re-designated in the Rancho Peñasquitos Community Plan as "General Institutional" from "Religious Facilities". The proposed project is consistent with the use and intensity for the General Institutional land use designation. Palomar Pomerado Health (PPH), covering 800 square miles, is the largest healthcare district in California. The PPH District has an immediate need to modernize and expand the facilities and services available to serve their constituents. One of the district's key methods of improving service delivery is to establish satellite facilities to augment existing and proposed hospitals in order to improve access to local healthcare services and meet projected future demands. The District's adopted Facilities Master Plan has identified the need for a satellite facility in Rancho Peñasquitos, which is within the boundaries of the District's existing service area. PPH determined the need and community benefit of establishing Outpatient Satellite facilities in communities throughout the district to improve access to local healthcare services. Therefore, the project will not adversely affect the adopted land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed development has been designed and will be constructed to meet all applicable zoning codes, building, fire and other regulations applicable to this type of development as imposed by the City of San Diego, the State of California and all federal agencies. A Mitigated Negative Declaration (MND) has been prepared for the project in accordance with the California Environmental Quality Act (CEQA). A Mitigation Monitoring Reporting Program (MMRP) will be implemented in the following issue areas: Air Quality, Biological Resources, Historical Resources (Archaeology), and Noise. As such, the proposed development will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed development complies with general institutional as the proposed designation within the Rancho Penasquitos Community Plan. Further, the proposed development is consistent with the scale of the buildings adjacent to the project site. The proposed development is architecturally consistent in terms of style and materials with the surrounding development and the adjoining community.

The proposed development generally has been designed to comply with the regulations of the Land Development Code, including requirements for setbacks, floor area ratio, street design, open space, grading, landscaping, parking, etc. and all other requirements of the development criteria for the above zones, as allowed through a Planned Development Permit. Implementation of the proposed project will require a deviation from the retaining wall height along the area behind the proposed clinic, along the northern property line, adjacent to Caltrans property and State Route 56. The proposed retaining wall along the northern portion of the site is 510 feet long and an approximate length of 293 feet varies in height from 10 to 14 feet. The portions of the retaining wall exceeding 12 feet require the requested deviation from the San Diego Municipal Code. All other proposed walls and retaining walls within the project site are consistent with the San Diego Municipal Code. Upon the approval of such deviation, the project will fully comply with the regulations of the Land Development Code.

Supplemental Site Development Permit Findings--Environmentally Sensitive Lands

- 1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;**

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan.

The proposed development would result in impacts to 0.07 acres of Diegan coastal sage scrub (Tier II), in addition to 3.0 acres of impacts to developed areas of the site that are not considered sensitive. These impacts would not require mitigation, in accordance with the requirements of the MSCP and the Biology Guidelines. The proposed project impacts to habitat would be less than significant and none of the project features would directly impact any City wetlands. As such, the proposed buildings are sited in an appropriate location that is best physically suitable for development.

- 2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;**

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed buildings are sited in an appropriate location that will not result in undue risk from geologic and erosional forces, flood hazards or fire hazards.

- 3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;**

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed project would result in impacts to 0.07 acres of Diegan coastal sage scrub (Tier II), in addition to 3.0 acres of impacts to developed areas of the site that are not considered sensitive. These impacts would not require mitigation, in accordance with the requirements of the MSCP and the Biology Guidelines. The proposed project impacts to habitat would be less than significant and none of the project features would directly impact

any City wetlands. As such, the proposed buildings are sited in an appropriate location that is the least impact on environmentally sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed project would result in impacts to 0.07 acres of Diegan coastal sage scrub (Tier II), in addition to 3.0 acres of impacts to developed areas of the site that are not considered sensitive. These impacts would not require mitigation, in accordance with the requirements of the MSCP and the Biology Guidelines. The proposed project impacts to habitat would be less than significant and none of the project features would directly impact any City wetlands. As such, the proposed development will be fully consistent with the City of San Diego's MSCP Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed development includes a number of best management practices (BMPs) that will be implemented both pre-and post-construction to reduce water onto the adjacent properties. The project isn't located near any public beaches or the local shoreline. As such, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. All mitigation measures identified within the Mitigated Negative Declaration (MND) have been incorporated into the permit conditions for the proposed development. The proposed development's mitigation measures reduce the impact of the proposed project to below a level of significance in all areas. As such, all mitigation reasonably related to and calculated to alleviate negative impacts created by the proposed development has been incorporated into the permit conditions for the proposed development.

ATTACHMENT 8

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 447403 and Planned Development Permit No. 447402 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 447403 and 447402, a copy of which is attached hereto and made a part hereof.

Laura C. Black, AICP
Development Project Manager
Development Services

Adopted on: April 9, 2009

Job Order No. 42-7821

cc: Legislative Recorder, Development Services Department

ATTACHMENT 9

Rezone Ordinance

(O-INSERT~)

ORDINANCE NUMBER O-_____ (NEW SERIES)

ADOPTED ON _____

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SAN DIEGO CHANGING 4.45 ACRES LOCATED AT 12855 BLACK MOUNTAIN ROAD, WITHIN THE RANCHO PENASQUITOS COMMUNITY PLAN AREA, IN THE CITY OF SAN DIEGO, CALIFORNIA, FROM THE RS-1-14 ZONE INTO THE IL-3-1 ZONE, AS DEFINED BY SAN DIEGO MUNICIPAL CODE SECTIONS 131.0403 AND 131.0603; AND REPEALING ORDINANCE NO. INSERT~ (NEW SERIES), ADOPTED DATE-call City Clerk for **adopted** dated~, OF THE ORDINANCES OF THE CITY OF SAN DIEGO INSOFAR AS THE SAME CONFLICT-HEREWITH.

WHEREAS, under Charter section 280(a)(2) this ordinance is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on evidence presented; NOW, THEREFORE,

BE IT ORDAINED, by the Council of the City of San Diego, as follows:

Section 1. That 4.45 acres located at 12855 Black Mountain Road and legally described as Parcel 2 of Map No. 14569, in the Rancho Penasquitos Community Plan area, in the City of San Diego, California, as shown on Zone Map Drawing No. B-4276 filed in the office of the City Clerk as Document No. OO- _____, is rezoned from the RS-1-14 Zone into the IL-3-1 Zone as the zone is described and defined by San Diego Municipal Code Chapter 13 Article 1

ATTACHMENT 9

Division 6. This action amends the Official Zoning Map adopted by Resolution R-301263 on February 28, 2006.

Section 2. That Ordinance No. (New Series), adopted April 9, 2009, of the ordinances of the City of San Diego is repealed insofar as the same conflict with the rezoned uses of the land.

Section 3. That a full reading of this ordinance is dispensed with prior to its final passage, a written or printed copy having been available to the City Council and the public a day prior to its final passage.

Section 4. This ordinance shall take effect and be in force on the thirtieth day from and after its passage, and no building permits for development inconsistent with the provisions of this ordinance shall be issued unless application therefore was made prior to the date of adoption of this ordinance.

APPROVED: JAN GOLDSMITH, City Attorney

By _____
Attorney name
Deputy City Attorney

LCB
April 9, 2009
Or.Dept: INSERT~
Case No.INSERT PROJECT NUMBER~
O-INSERT~
Form=inloto.frm(61203wct)

ATTACHMENT 10

(R-2002-INSERT)

RESOLUTION NUMBER R-_____

ADOPTED ON _____

WHEREAS, on _____, the City Council of the City of San Diego held a public hearing for the purpose of considering an amendment to the Progress and Guide and General Plan and the Rancho Penasquitos Community Plan; and

WHEREAS, Palomar Pomerado Health (PPH), Michael H. Covert, requested an amendment to the Progress Guide and General Plan and the Rancho Penasquitos Community Plan to designate the site located at 12855 Black Mountain Road, from Religious Facility to General Institutional, the site is legally described as Parcel 2 of Map No. 14569, City of San Diego, County of San Diego, State of California; and

WHEREAS, City Council Policy 600-7 provides that public hearings to consider revisions to the Progress Guide and General Plan for the City of San Diego may be scheduled concurrently with public hearings on proposed community plans in order to retain consistency between said plans and the Planning Commission has held such concurrent public hearings; and

WHEREAS, the Planning Commission of the City of San Diego found the proposed amendment consistent with the Progress Guide and General Plan; and

WHEREAS, the Council of the City of San Diego has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; NOW, THEREFORE,

BE IT RESOLVED, by the Council of The City of San Diego, that it adopts the amendments to the Rancho Penasquitos Community Plan, a copy of which is on file in the office of the City Clerk as Document No. RR-_____.

ATTACHMENT 10

BE IT FURTHER RESOLVED, that the Council adopts and amendment to the Progress Guide and General Plan for the City of San Diego to incorporate the above amended plan.

APPROVED: JAN GOLDSMITH, City Attorney

By _____

Deputy City Attorney

LCB

April 9, 2009

Or.Dept:DSD

R-2002- INSERT

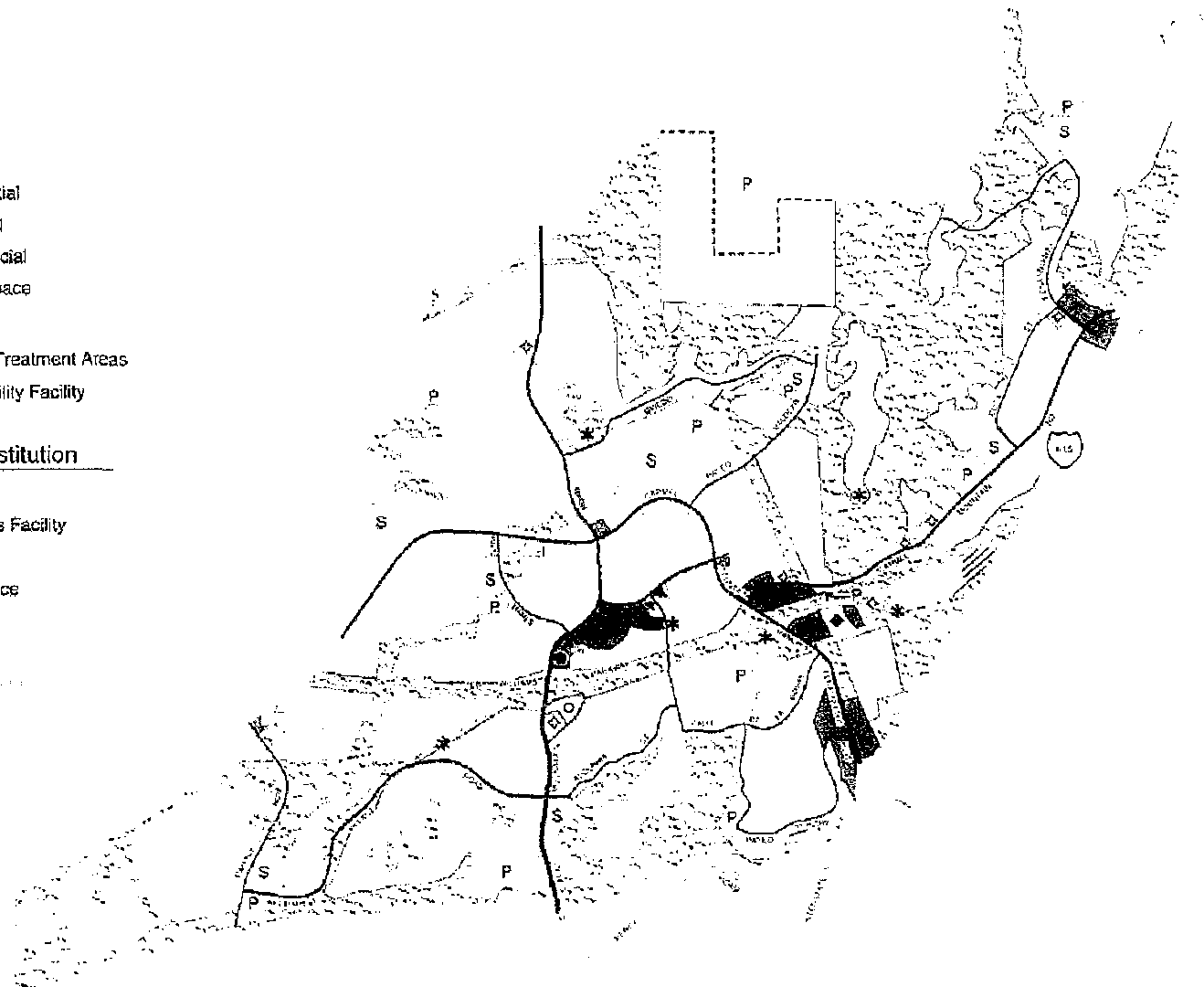
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**Key –Strike-out/Underline Version
Palomar Pomerado Health
Community Plan Amendment**

~~Red Strikeout~~-Deletions from Text/Graphics for Health Clinic and
Wellness Center and Staff Recommended Changes

Blue Underline-Additions to Text/Graphics for Health Clinic and
Wellness Center

Green Underline-Proposed City Staff Recommended Changes
Unrelated to Health Clinic and Wellness Center



4

**TABLE 1
RECOMMENDED LAND USE ALLOCATIONS**

LAND USE	ACRES	PERCENT
<u>Residential</u>		
Very Low-Density Residential (0-1*)	175+/-	2.7
Low-Density Residential (1-5**)	2,873+/-	43.9
Low-Medium-Density Residential (5-10**)	150+/-	2.3
Medium-Density Residential (10-22**)	134+/-	2.0
Medium-High Density (22-45**)	8+/-	0.1
SUBTOTAL	3,340	51.3
<u>Commercial/Industrial</u>		
Neighborhood Commercial	17+/-	0.3
Community Commercial	52+/-	0.8
General Commercial	50 +/-	0.8
Commercial Recreation	9+/-	0.1
Industrial (Recreational Vehicle and Mini-Storage)	10+/-	0.1
SUBTOTAL	428 138***	2.0 2.1
<u>Parks/Open Space</u>		
Industrial (Recreational Vehicle and Mini-Storage)	10+/-	0.1
Neighborhood Parks	57+/-	0.9
Community Parks	53+/-	0.7
Black Mountain Park/Open Space	480+/-	7.4
Small Parks/Special Treatment Areas	12+/-	0.2
Golf Course	121+/-	1.9
Open Space	1,525+/-	23.4
SUBTOTAL	2,258 2,248	34.6 35
<u>General Institutional</u>		
Schools	130+/-	2.0
Religious Facility	32 38+/-	0.5 0.4
Civic Buildings (Fire, Library, Post Office, etc)	8+/-	0.1
Health Clinic & Wellness Center	4+/-	0.1
SUBTOTAL	170	2.6
<u>Miscellaneous</u>		
Utilities and Easements	165+/-	2.5
Streets and Other Public Rights-of-Way	450+/-	7.0
SUBTOTAL	615	9.5
TOTAL	6,511+/-	100.0

*DU/ACRE=Dwelling units per acre

**DU/DA=Dwelling units per developable acre

***31 acres have been developed residentially.

Residential

[] Low Density

[] Medium Density

Commercial

[G] General Commercial

Education

[S] Canyonview Elementary School

General Institution

◆ Religious Facilities

○ City of Rancho Peñasquitos

Recreation

[] Open Space

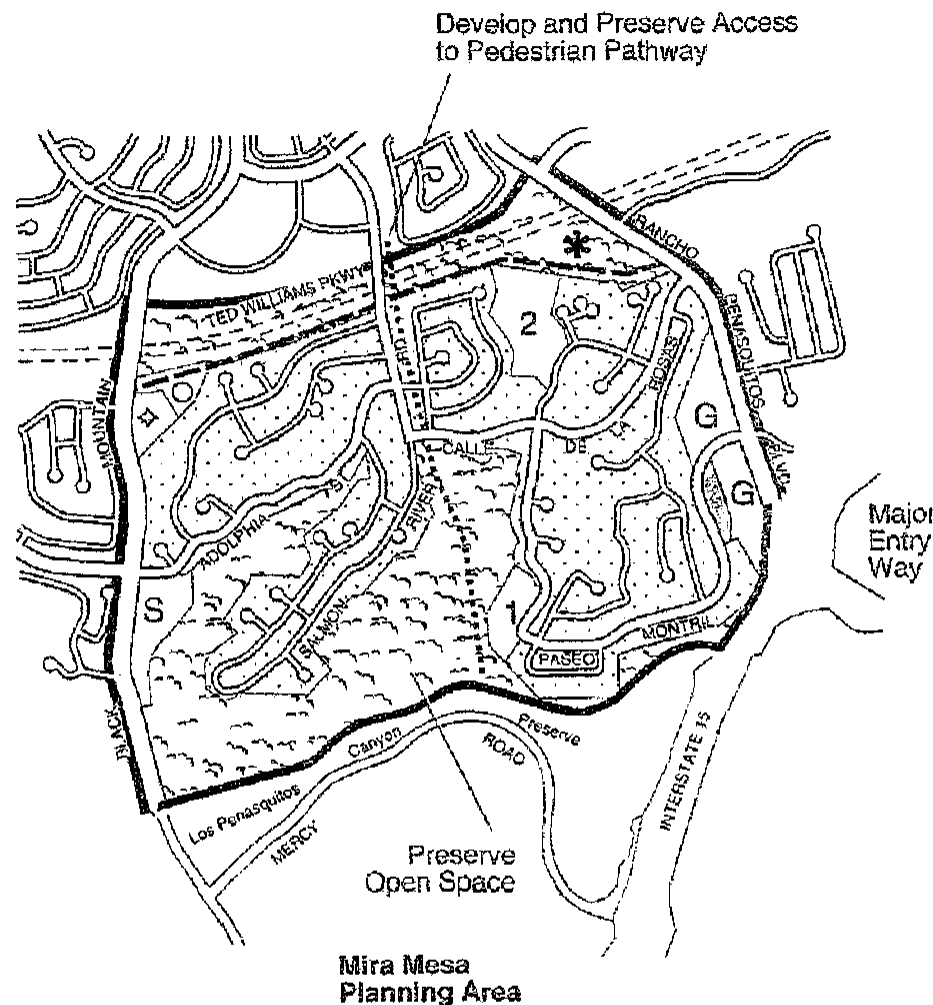
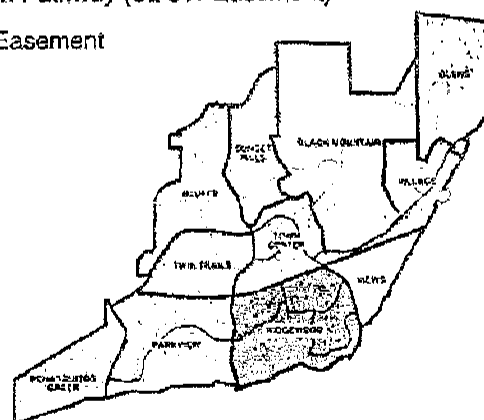
[1] Ridgewood Neighborhood Park

[2] View West Neighborhood Park

* Special Treatment Area

..... Pedestrian Pathway (SDCW Easement)

--- SDG&E Easement



Ridgewood 18
Rancho Peñasquitos Community Plan FIGURE



RIDGEWOOD

The Ridgewood neighborhood is located in the south-central portion of the community, west of I-15. It is served by Rancho Peñasquitos Boulevard on the ~~north east~~ and Black Mountain Road on the west. State Route 56 is situated to the north with ~~Salmon River Road providing access to the community facilities in the Town Center development area and~~ From the south lies Peñasquitos Canyon and the Mira Mesa community. Salmon River Road provides access to the community facilities in the Town Center development area. The land area is totally developed with approximately 1,513 single-family units and 426 multifamily units. The neighborhood is proposed as predominately single-family in nature. Recommended uses other than residential include general commercial development along Rancho Peñasquitos Boulevard and one religious facility site off Black Mountain Road. Adjacent to the religious facility is a health clinic and wellness center. In addition, two neighborhood parks (Ridgewood and Views West) are located recommended for development in the central portion of the neighborhood.

Safe and convenient pedestrian access to commercial facilities south of Rancho Peñasquitos Boulevard and to the proposed neighborhood parks in the Ridgewood neighborhood should be provided. Noise attenuation barriers should be provided to mitigate noise impacts from SR-56 on adjacent residential development.

Since the southern portion of this neighborhood lies adjacent to the Los Peñasquitos Canyon Preserve, care must be taken to ensure that the interface between existing or proposed development (whether residential, park, trails or other use) and the preserve remain as nonintrusive as possible. In particular, the use of native plant species should be encouraged in these areas; non-natives are discouraged and invasive species should be removed. Wildlife corridors must remain wide, provide adequate cover and be protected from excessive noise, night lighting and domestic animals.

The proposed vehicular, bicycle and pedestrian routes discussed in the **Transportation Element** are important in adequately linking Ridgewood with community facilities.

YMCA

~~In January 1995, the YMCA of San Diego County opened the "Rancho Family YMCA" plans to construct a Teen and Recreation Center in the Rancho Peñasquitos Town Center. Facilities were added to the center when an expansion was completed in 2000. These facilities will provide both indoor and outdoor recreation opportunities for Rancho Peñasquitos residents and will supplement the public park and recreation needs of the community.~~

Health Care Services

~~Most of the health care services needs of the Rancho Peñasquitos community are currently met by facilities in Escondido, Poway and the north-central portion of the City of San Diego. The community can be expected to be adequately served in the future, in regards to diagnosis and treatment services, emergency medical service, mental health services and long-term care services. However, some consideration should be given to a community health clinic, centrally located in Rancho Peñasquitos, to serve the North City area. This clinic could provide community health education and information services, as well as operate as a center for prevention and detection services provided by the county. An area located south of State Route 56 and east of Black Mountain Road is designated as "General Institutional", which allows for a health clinic and related uses. This facility will offer community health education and information services and operate as a center for prevention and detection services. Limited emergency, diagnosis and treatment services will also be available, could be possible. The clinic could use existing buildings, such as schools or the golf course complex, to provide intermittent services, or it could be housed in rented facilities in commercial office space on an interim or permanent basis.~~

~~In addition, other possible locations for a clinic include existing buildings such as schools or the golf course complex, to provide intermittent services or it could be housed in rented facilities in commercial office space on an interim or permanent basis.~~

Utilities

Utilities in the Rancho Peñasquitos community include water provided by the City of San Diego, storm and sanitary sewers maintained by the City and gas and electricity supplied by the SDG&E Company. Advance planning is ongoing to ensure that adequate utility capacities are available to accommodate the community growth proposed in this Plan. The present practice of undergrounding all service distribution lines should be continued, as called for in Council Policy 600-10. Similarly, City efforts to mandate the use of reclaimed water shall be continued, as set forth in Council Ordinance 0-17327.

At this time, the Peñasquitos Trunk Sewer is approaching its ultimate capacity. Any future developments in this area which would discharge sewage into the Peñasquitos Trunk Sewer may have limited connections.

The two viable alternatives for upgrading the Peñasquitos Trunk Sewer are:

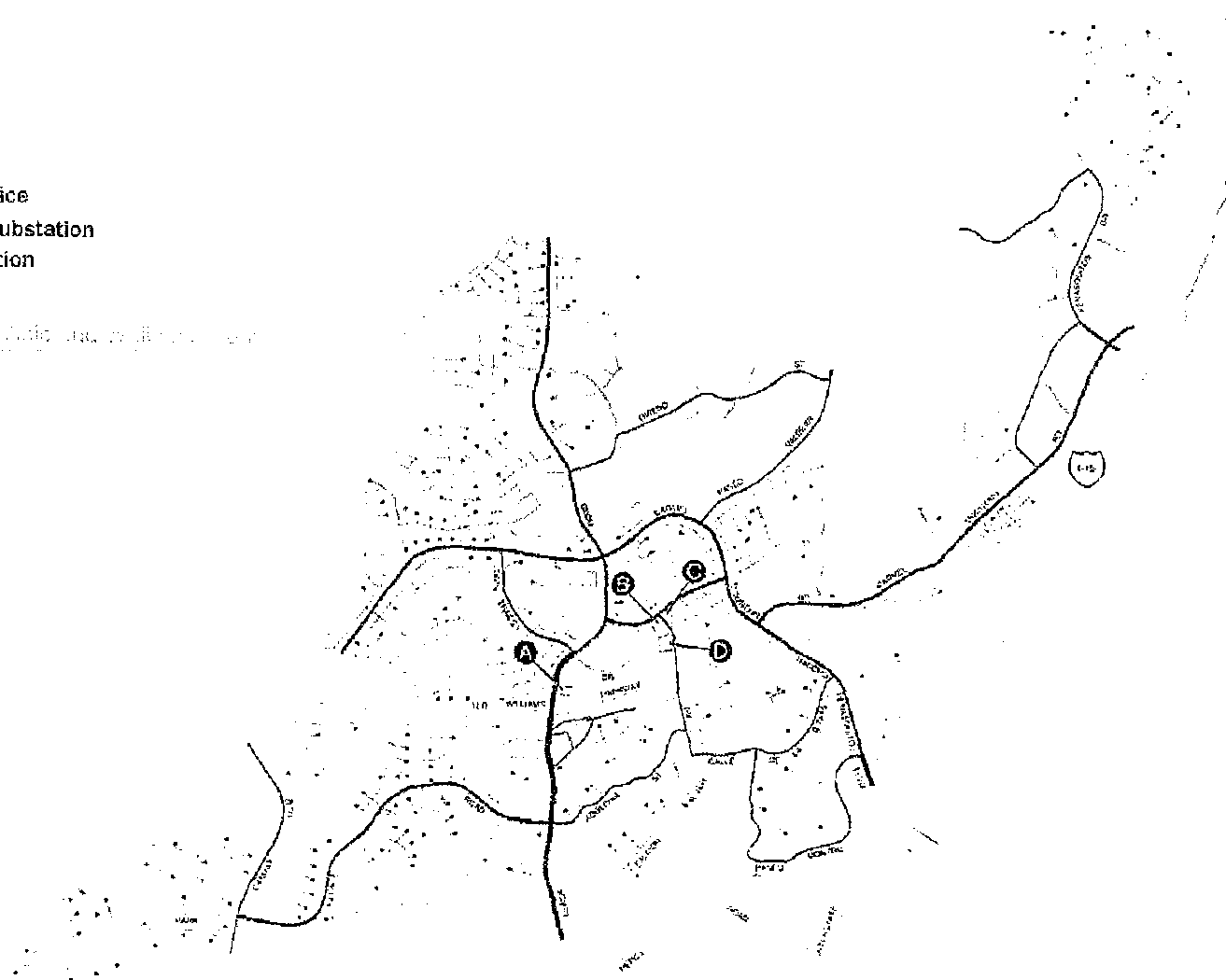
- Construct a second parallel interceptor gravity sewer in the canyon.

- Construct a pump station at Poway Road and I-15 or at Black Mountain Road and Mercy Road to divert the flow through Black Mountain Road south to Miramar Road and then west to the future North City Plant proposed by the Clean Water Program.

In addition to this interceptor, the Carmel Valley Trunk Sewer is proposed for rehabilitation. The trunk sewer traverses the City's Future Urbanizing Area to the west of Ranch Peñasquitos and terminates at the western boundary of the Bluffs Neighborhood.

- Ⓐ Post Office
- Ⓑ Police Substation
- Ⓒ Fire Station
- Ⓓ Library

Source: Rancho Peñasquitos Community Plan



Public Facilities and Services
Rancho Peñasquitos Community Plan

35
 FIGURE

Recreational Programs and Facilities

Both private and public recreational programs and facilities are encouraged, as described in the **Parks and Recreation Element**. Recreational programs should consider overall community requirements as well as serving individual neighborhood and target group needs.

A senior center should be sited in the community center or in a community recreation center or teen center.

The major community recreation building proposed for the Hilltop Community Park should develop a range of recreational programs for children, youths, adults and the elderly, as well as provide meeting space for community groups. Sports leagues and scout programs should be provided.

Civic Activities and Buildings

Continuation of activities by the planning board, other civic groups and renter and neighborhood association is essential. These organizations allow residents to participate in decision-making for their community or neighborhood. Participation is also encouraged in the planning and decision-making activities and community relations programs of public and semipublic service agencies, such as the Poway Unified School District, Palomar Pomerado Health, and the San Diego Police Department.

Religious Groups and Buildings

~~Eight~~ Seven religious institutional sites from three to seven acres in size are designated in the Plan. Other sites may be designated in residential or commercial zones as the community grows. Plans for religious building development should provide for adequate landscaping and maintenance, and sufficient parking so as not to disrupt surrounding uses. Religious facilities are encouraged to offer meeting rooms, develop day care programs, set up children and teen recreational and educational activities and provide supportive care for individual community members, as well as conduct religious activities.

Public Services

The establishment and operation of social services funded partially or fully by the public is recommended when needed by the community. Such services may include emergency hotlines, health and mental health services, youth employment programs, dial-a-ride and carpool matching and other similar services. These programs may use the community facilities outlined above or rented space in commercial centers.

Self-Organized Activities and Facilities

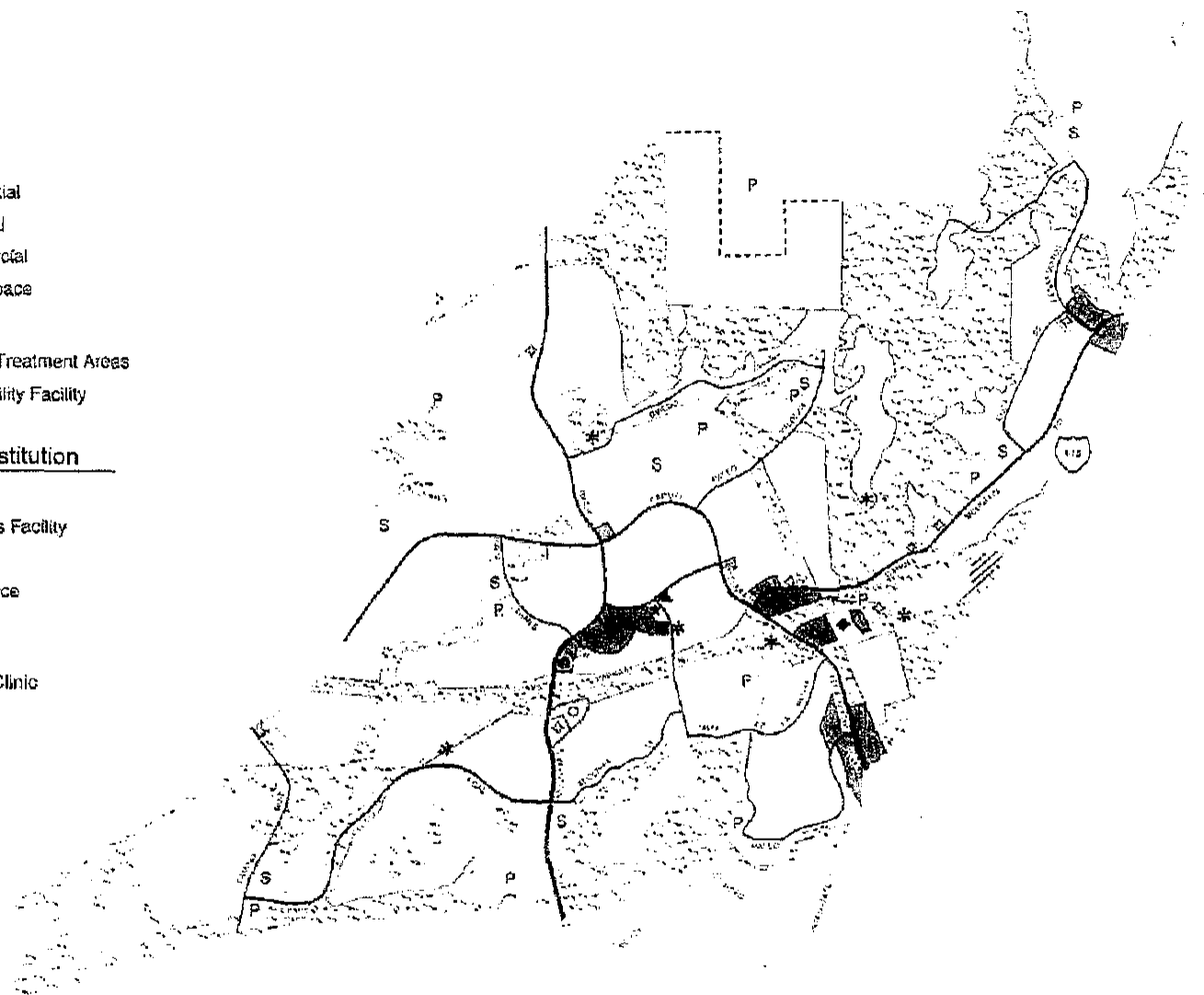
The community currently supports few formal self-organized activities and services. Such programs can be organized and managed by community residents to serve their own needs. Opportunities for self-organized activities and facilities included such things as neighborhood gardens, cultural events, cooperatives, communitywide events and development corporations.

Recreational Programs and Facilities

Palomar Pomerado Health
Community Plan Amendment

Final Version (Without Strike-out/Underline)

- Residential
 - Industrial
 - Commercial
 - Open Space
 - P Parks
 - * Special Treatment Areas
 - ◆ Major Utility Facility
- General Institution
- S Schools
 - ◇ Religious Facility
 - ▣ Library
 - Post Office
 - ★ Police
 - ▲ Fire
 - Health Clinic



Land Use Map **4**
 Rancho Peñasquitos Community Plan **FIGURE**

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Community Commercial	52+/-	0.8
General Commercial	50 +/-	0.8
Commercial Recreation	9+/-	0.1
Industrial (Recreational Vehicle and Mini-Storage)	10+/-	0.1
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Community Parks	53+/-	0.7
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Golf Course	121+/-	1.9
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 General Commercial

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 Canyonview Elementary School

General Institution

 Religious Facilities

 Health Clinic and Wellness Center

Recreation

 Open Space

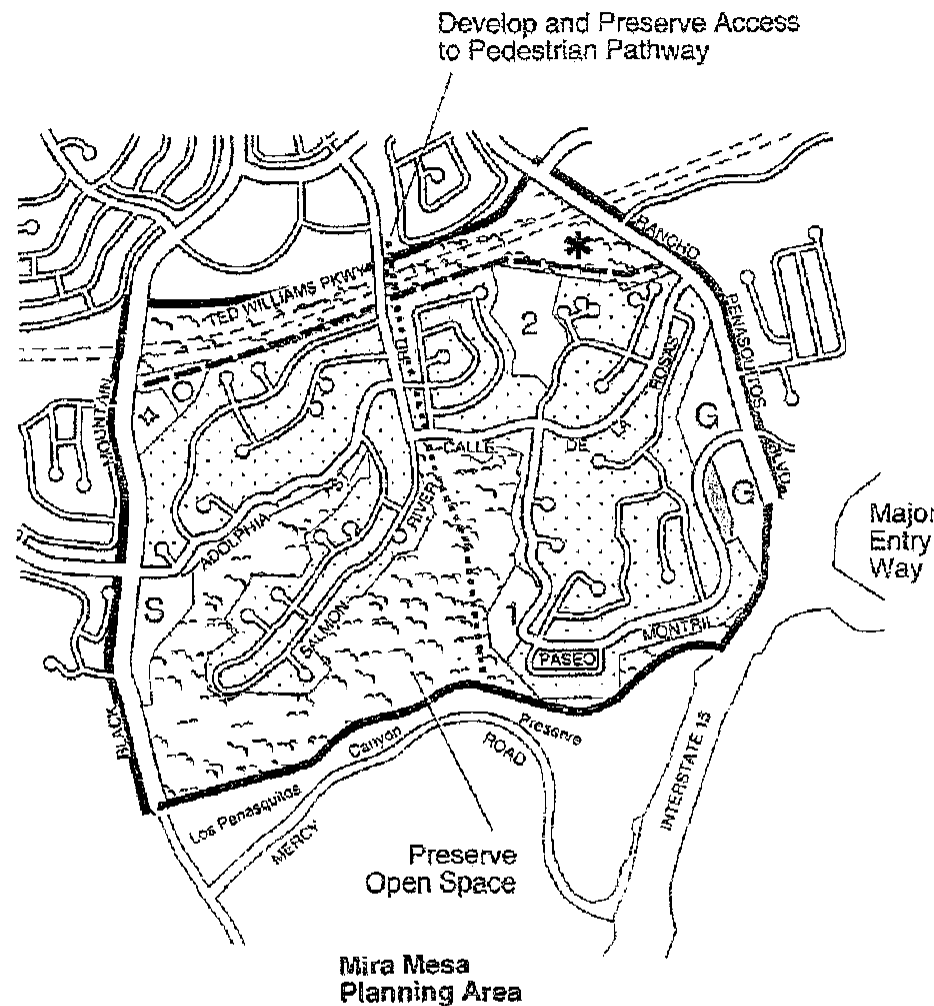
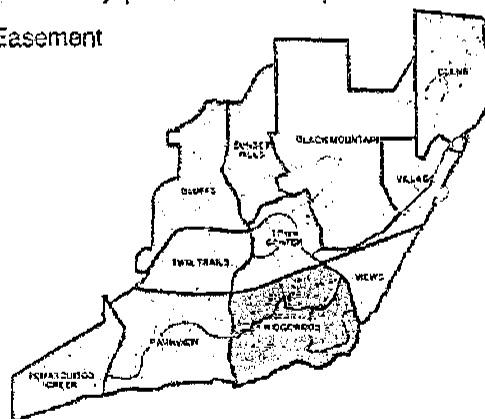
 Ridgewood Neighborhood Park

 View West Neighborhood Park

 Special Treatment Area

 Pedestrian Pathway (SDCW Easement)

 SDG&E Easement



Ridgewood **18**
Rancho Peñasquitos Community Plan **FIGURE**

RIDGEWOOD

The Ridgewood neighborhood is located in the south-central portion of the community, west of I-15. It is served by Rancho Peñasquitos Boulevard on the east and Black Mountain Road on the west. State Route 56 is situated to the north to the south lies Peñasquitos Canyon and the Mira Mesa community. Salmon River Road provides access to the community facilities in the Town Center development area. The land area is totally developed with approximately 1,513 single-family units and 426 multifamily units. The neighborhood is proposed as predominately single-family in nature. Recommended uses other than residential include general commercial development along Rancho Peñasquitos Boulevard and one religious facility site off Black Mountain Road. Adjacent to the religious facility is a health clinic and wellness center. In addition, two neighborhood parks (Ridgewood and Views West) are located in the central portion of the neighborhood.

Safe and convenient pedestrian access to commercial facilities south of Rancho Peñasquitos Boulevard and to the proposed neighborhood parks in the Ridgewood neighborhood should be provided. Noise attenuation barriers should be provided to mitigate noise impacts from SR-56 on adjacent residential development.

Since the southern portion of this neighborhood lies adjacent to the Los Peñasquitos Canyon Preserve, care must be taken to ensure that the interface between existing or proposed development (whether residential, park, trails or other use) and the preserve remain as nonintrusive as possible. In particular, the use of native plant species should be encouraged in these areas; non-natives are discouraged and invasive species should be removed. Wildlife corridors must remain wide, provide adequate cover and be protected from excessive noise, night lighting and domestic animals.

The proposed vehicular, bicycle and pedestrian routes discussed in the **Transportation Element** are important in adequately linking Ridgewood with community facilities.

YMCA

In January 1995, the YMCA of San Diego County opened the "Rancho Family YMCA" in the Rancho Peñasquitos Town Center. Facilities were added to the center when an expansion was completed in 2000. These facilities provide both indoor and outdoor recreation opportunities for Rancho Peñasquitos residents and supplement the public park and recreation needs of the community.

Health Care Services

Most of the health care services needs of the Rancho Peñasquitos community are currently met by facilities in Escondido, Poway and the north-central portion of the City of San Diego. The community can be expected to be adequately served in the future, in regards to diagnosis and treatment services, emergency medical service, mental health services and long-term care services. An area located south of State Route 56 and east of Black Mountain Road is designated as "General Institutional", which allows for a health clinic and related uses. This facility will offer community health education and information services and operate as a center for prevention and detection services. Limited emergency, diagnosis and treatment services will also be available.

In addition, other possible locations for a clinic include existing buildings such as schools or the golf course complex, to provide intermittent services or it could be housed in rented facilities in commercial office space on an interim or permanent basis.

Utilities

Utilities in the Rancho Peñasquitos community include water provided by the City of San Diego, storm and sanitary sewers maintained by the City and gas and electricity supplied by the SDG&E Company. Advance planning is ongoing to ensure that adequate utility capacities are available to accommodate the community growth proposed in this Plan. The present practice of undergrounding all service distribution lines should be continued, as called for in Council Policy 600-10. Similarly, City efforts to mandate the use of reclaimed water shall be continued, as set forth in Council Ordinance 0-17327.

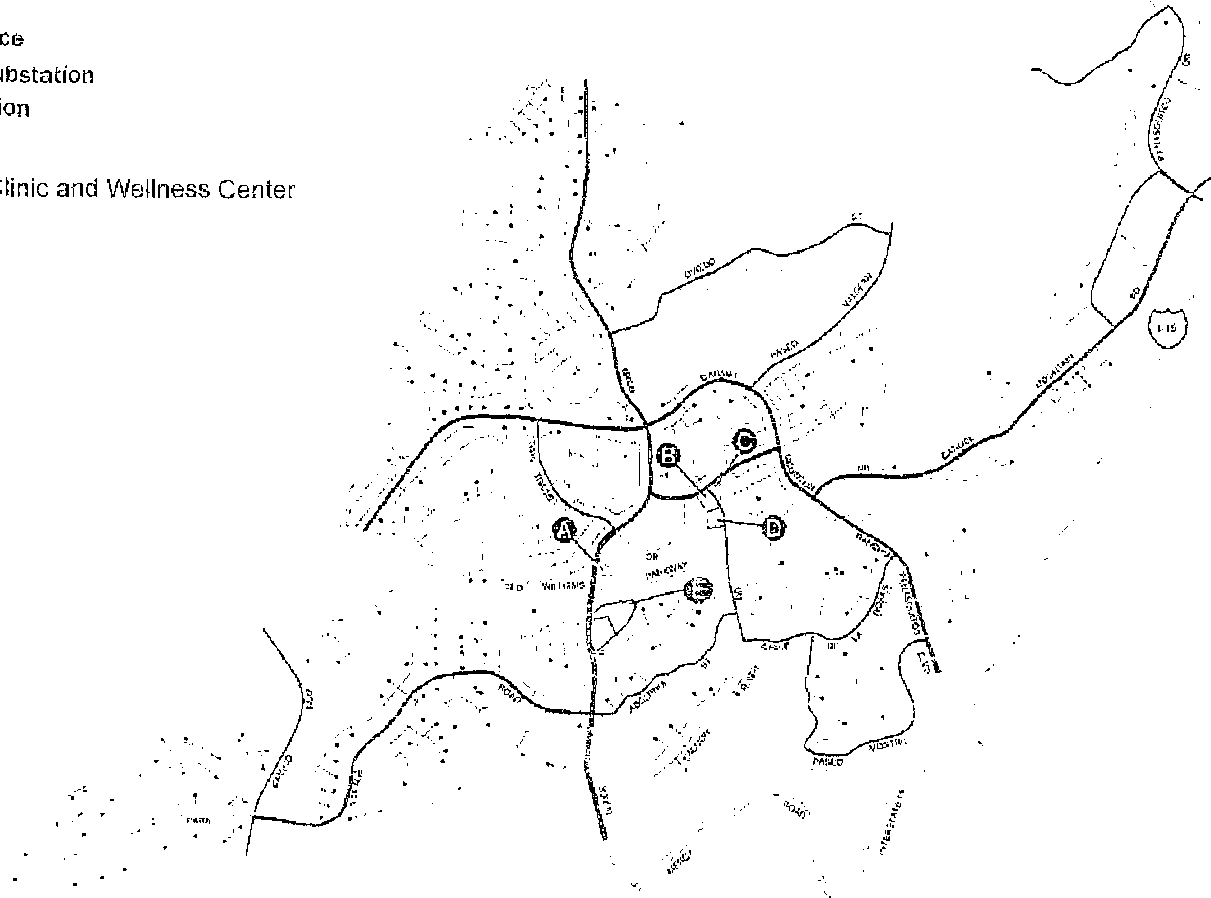
At this time, the Peñasquitos Trunk Sewer is approaching its ultimate capacity. Any future developments in this area which would discharge sewage into the Peñasquitos Trunk Sewer may have limited connections.

The two viable alternatives for upgrading the Peñasquitos Trunk Sewer are:

- Construct a second parallel interceptor gravity sewer in the canyon.
- Construct a pump station at Poway Road and I-15 or at Black Mountain Road and Mercy Road to divert the flow through Black Mountain Road south to Miramar Road and then west to the future North City Plant proposed by the Clean Water Program.

In addition to this interceptor, the Carmel Valley Trunk Sewer is proposed for rehabilitation. The trunk sewer traverses the City's Future Urbanizing Area to the west of Ranch Peñasquitos and terminates at the western boundary of the Bluffs Neighborhood.

- Ⓐ Post Office
- Ⓑ Police Substation
- Ⓒ Fire Station
- Ⓓ Library
- Ⓔ Health Clinic and Wellness Center



Public Facilities and Services
Rancho Peñasquitos Community Plan

35
 FIGURE

Both private and public recreational programs and facilities are encouraged, as described in the **Parks and Recreation Element**. Recreational programs should consider overall community requirements as well as serving individual neighborhood and target group needs.

A senior center should be sited in the community center or in a community recreation center or teen center.

The major community recreation building proposed for the Hilltop Community Park should develop a range of recreational programs for children, youths, adults and the elderly, as well as provide meeting space for community groups. Sports leagues and scout programs should be provided.

Civic Activities and Buildings

Continuation of activities by the planning board, other civic groups and renter and neighborhood association is essential. These organizations allow residents to participate in decision-making for their community or neighborhood. Participation is also encouraged in the planning and decision-making activities and community relations programs of public and semipublic service agencies, such as the Poway Unified School District, Palomar Pomerado Health and the San Diego Police Department.

Religious Groups and Buildings

Seven religious institutional sites from three to seven acres in size are designated in the Plan. Other sites may be designated in residential or commercial zones as the community grows. Plans for religious building development should provide for adequate landscaping and maintenance, and sufficient parking so as not to disrupt surrounding uses. Religious facilities are encouraged to offer meeting rooms, develop day care programs, set up children and teen recreational and educational activities and provide supportive care for individual community members, as well as conduct religious activities.

Public Services

The establishment and operation of social services funded partially or fully by the public is recommended when needed by the community. Such services may include emergency hotlines, health and mental health services, youth employment programs, dial-a-ride and carpool matching and other similar services. These programs may use the community facilities outlined above or rented space in commercial centers.

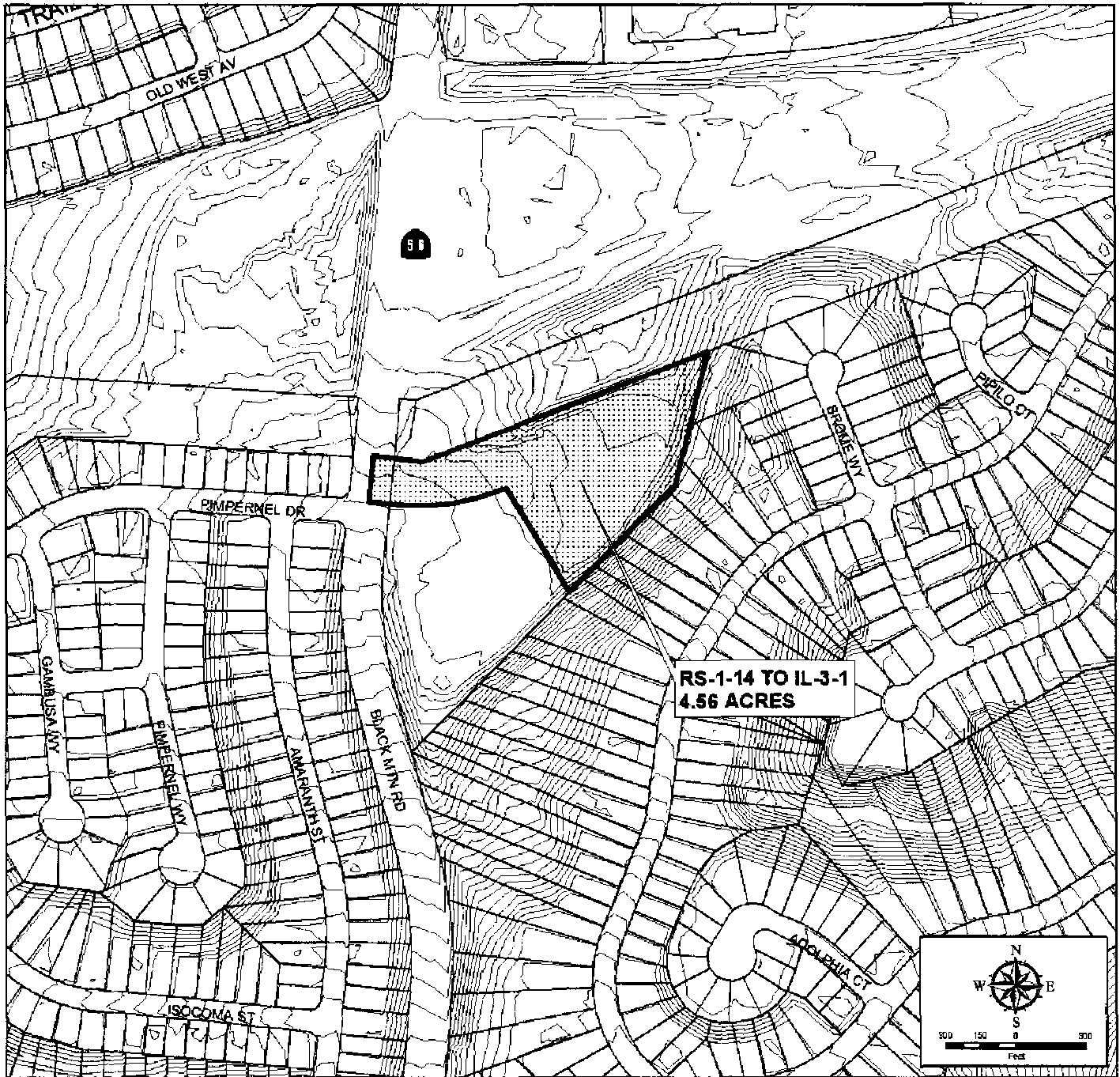
Self-Organized Activities and Facilities

The community currently supports few formal self-organized activities and services. Such programs can be organized and managed by community residents to serve their own needs. Opportunities for self-organized activities and facilities included such things as neighborhood gardens, cultural events, cooperatives, communitywide events and development corporations.



CITY OF SAN DIEGO • DEVELOPMENT SERVICES

PROPOSED REZONING



PAR 2 (EX ST), PM 14569

ORDINANCE NO. _____

EFF. DATE ORD. _____

ZONING SUBJ. TO _____

BEFORE DATE _____

EFF. DATE ZONING _____

MAP NAME AND NO. _____

REQUEST IL-3-1

PLANNING COMM.
RECOMMENDATIONCITY COUNCIL
ACTION

CASE NO. 42-7821

DEVELOPMENT SERVICES MANAGER
B-4276

APN: 315-490-37

(286-1728) 03-02-09 ldj

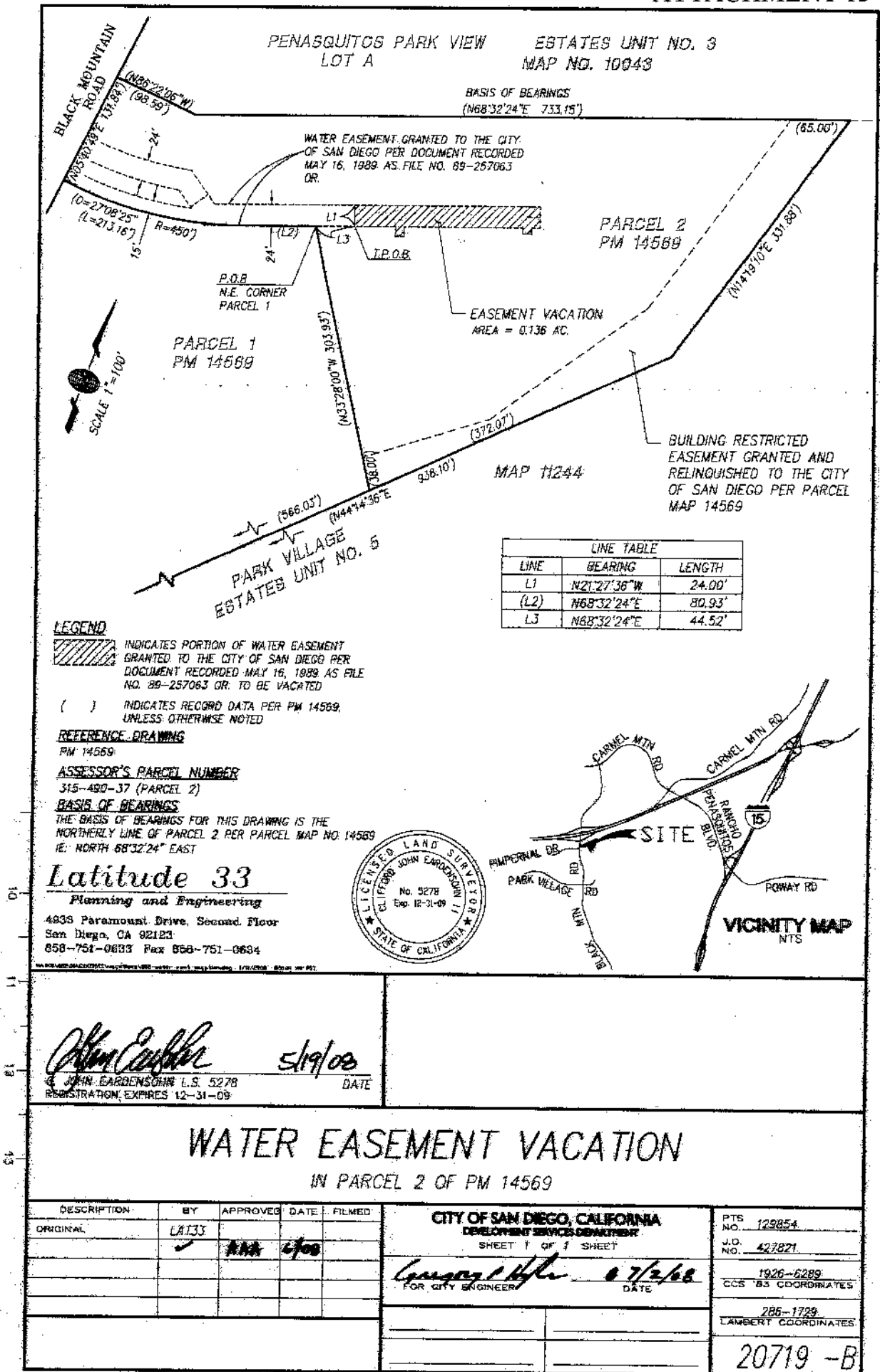


EXHIBIT "A"

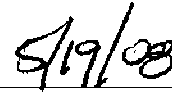
LEGAL DESCRIPTION
WATER MAIN EASEMENT VACATION

THAT PORTION OF AN EXISTING WATER EASEMENT GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT NO. 89-257063, RECORDED MAY 16, 1989 OFFICIAL RECORDS WITHIN PARCEL 2 OF PARCEL MAP NO 14569 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, LYING EASTERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE NORTHEAST CORNER OF PARCEL 1 OF SAID PARCEL MAP, SAID POINT BEING ALSO THE EASTERLY TERMINUS OF A COURSE NORTH 68°32'24" EAST, 80.93 FEET ON THE NORTHERLY LINE OF SAID PARCEL 1; THENCE CONTINUING ALONG SAID COURSE NORTH 68°32'24" EAST, 44.52 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTHERLY AT RIGHT ANGLE FROM SAID LAST COURSE NORTH 21°27'36" WEST, 24.00 FEET TO THE NORTHERLY LINE OF SAID WATER EASEMENT AND POINT OF TERMINUS.

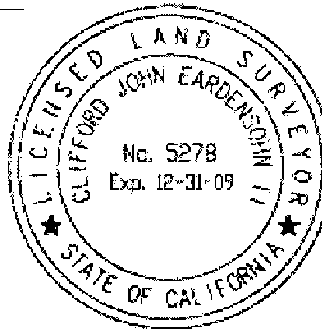


C. JOHN EARDENSOHN LS 5278
My Registration Expires 12-31-09



DATE

FILE: PTS 129854
JO 427821
DRAWING 20719-B





Rancho Peñasquitos Planning Board Meeting Minutes

June 4, 2008

Attendees: Dan Barker, Jon Becker, Joost Bende, Bill Diehl, Sudha Garudadri, Wayne Kaneyuki, John Keating, Pamela Kelly, Jim LaGrone, Lynn Murphy, Jeanine Politte, Keith Rhodes, Charles Sellers, Mike Shoecraft, Dennis Spurr

Absent:

Community Members & Guests (Voluntary Sign-in): John Spelta, Tuesdee Halperin, Scot Sandstrom, Bill Dumka, Patrick & Karen Clemes, Pam Blackwill, George Fredha, Greg Parks, Glenn Hirashiki, Dominick Vacante, Janell Young, Stephen Egbert.

1. The meeting was called to order at 7:35 pm at the Doubletree Golf Resort located at 14455 Peñasquitos Drive, San Diego, California 92129. A Quorum was present.
2. Agenda Modifications: Change order of new business to: PPH Community Wellness Campus, Verizon Wireless Carmel Resort followed by Rancho Peñasquitos Pump Station.
3. MINUTES:
Motion to approve the May 7, 2008 Rancho Peñasquitos Planning Board Meeting minutes as presented. M/S/C - Bende/Diehl/Approved 12-0-1 abstention (Shoecraft).
4. Guests:
 - a. none
5. NON-AGENDA, PUBLIC COMMENTS:
 - a. Torrey Brooke II – Karen Clemes, a neighbor to proposed infill project who spoke on behalf of her neighbors in attendance, asked to be on the July agenda. Torrey Brooke II is scheduled to go to the planning commission Thursday June 5th, 2008 and they have contacted the Project Manager, Derrick Johnson, to request a continuance to allow them time to review & prepare to bring their concerns before RPPB. They have hired a consultant, Paul Metcalf, to review proposed project and at this time have the following key concerns:
 - i. Failure to give proper notice of project and involve the neighbors in planning.
 - ii. Concerns about fill that was dumped on property, and brought before RPPB March 22, 2002 by Janelle Young have still not been totally remedied which potentially could raises the pad elevation of proposed homes higher than it was initially.
 - iii. Massing & design issues - project homes are too large for lot size, are 3 stories, set backs are too small, lack of design guidelines or any specific architecture proposed in the staff report.
 - iv. Planning Group Questions:
 - Becker inquired if the group felt there was a code compliance issue. Clemes stated that their consultant had visited the property and shocked that no citations had been given for the dirt pile that still remained.
 - No one responded when Sellers asked if a representative from the developer was present.
 - Becker noted from the September 5th RPPB meeting minutes that the homes would be limited to 28' in height and Clemes stated that their consultant had concerns that the plan description contained very little detail.

- Sellers confirmed with Clemes that the project manager and developer are aware their group will be attending the Planning Commission meeting to ask for the continuance, which she agreed. He also stated that RPPB acted in good faith and the developer believes they acted in good faith - the item will probably be pulled from the docket to allow all parties to work together and remedy concerns of the neighbors.
- Keating asked for clarification of the grounds for continuance. Clemes stated lack of notice, due process, good planning reflects community and look of neighborhood, good faith. Sellers stated that the developer would need to prove to the city that notice had been sent to the neighbors and if not, the reason. Politte will check internal emailed meeting notices and the City website for the agendas and minutes from August & September 2007.
- Sellers will send email concerning "Notice," copy to Griswold. He asked Clemes to email him to formally request being added to the July agenda after the Planning Commission meeting actions on June 5th.

(see attached handouts distributed by K. Clemes)

(** See RPPB minutes for project approval 9/5/07.)

- b. Sherri Lightner, in her introduction as the current front runner for Council District 1 seat, thanked those who voted for her and looked forward to meeting with attendees.
 - c. Bill Diehl announced that the Rancho Peñasquitos Fireworks, presented by Park & Rec, would be July 3rd this year at Westview High School.
6. ANNOUNCEMENTS & INFORMATION ITEMS:
- a. San Diego City Council District 1 Report – Madeleine Baudoin - none
 - b. San Diego City Planning & Community Investment Report – Tim Nguyen introduced himself, the new Associate Planner for RPPB; he looks forward to working with the members and the community.

7. BUSINESS.

- a. **PPH Community Wellness Campus** – Becker summarized prior LUC & regular RPPB meetings with PPH representatives and a sub-committee to resolve concerns. The following motion and conditions were recommended and approved 5-0-0 by the LUC on 6/4/08. Bende read the motion for the record. Note that Keating is recusing himself due to conflict.

Motion: To recommend approval of the PPH Medical Office Building and Community Wellness Center Project at Black Mountain Road in the Rancho Peñasquitos Community and the accompanying Rancho Peñasquitos Community Plan Amendment, Rezone, PDP, SDP, and Water Easement Abandonment with the following conditions:

- 1) Conditional use of medical / clinical office building and community wellness center, and parking, including accessory uses such as a café and pharmacy.
- 2) Condition: Site specific height limit of 42'-0"
- 3) Condition: Site irrigation system shall be connected to City of San Diego recycled waterlines accessible in the right-of-way on Black Mountain Road.
- 4) Condition: Site shall not be used for any commercial wireless facilities, except for communication devices for the private use of the PPH system.
- 5) Board strongly encourages applicant to attain USGBC's LEED Silver for New Construction.
- 6) Applicant shall provide intended TI plans for Community Wellness Center for RPPB records.

- 7) Applicant shall provide sign package for project for RPPB records.
- 8) FBA fees shall be charged at the Commercial Rate not Hospital Rate.
- 9) Condition: PPH shall provide irrigation and landscaping to the city right-of-way north of property line to SR56.
- 10) All conditions above shall be recorded with the project and the land at the City and County offices.

M/S/C – Bende/Becker / Discussion.

Discussion/Comments:

- i. La Grone expressed concerns about north bound Black Mtn. Rd. backup during peak weekday hours. Keating noted that PPH services offered would reduce peak hour trips compared to the school that was on site. It was also noted that periodically LDS members have been seen running out onto Black Mtn. Rd. to stop traffic and allow church goers to egress said property; a city permit is needed to allow this. Bende added that there is 12' of irrevocable land available north of the driveway to widen Black Mtn. Rd. in the future if it is needed.
- ii. Kaneyuki agreed that approval be contingent that future owners/development abide by the approved conditions as recorded with the City & County records.
- iii. Kelly was concerned that groups, ie. Scouts, etc. may need to change their practices in regards to any activities and before/after gatherings where youth may be in the parking lot. Bende added that the driveway was expanded to 30' and striping in the parking lots would differentiate the areas of the lots.
- iv. Spurr asked if PPH has contacted MCAS Miramar about noise impacts. Mike Shanahan, PPH, stated that they had contacted MCAS and they are aware of the planned facility, noting there should be no effect during normal business hours. Bended added that the northern edge of MCAS Miramar area of influence ends approximately at the creek that runs through Peñasquitos Preserve. Rich Miller, PPH, also added the Mitigated Negative Declaration covers Miramar.
- v. Kaneyuki asked if there has been any neighborhood opposition to the plans. Mike Shannahan said the neighbors were noticed around May 1st, 2007.

Sellers called for a vote on the motion as presented. Approved 14-0-0 with 1 recusal (Keating).

- b. **Verizon Carmel Resort, Project #150787** – Kerrigan Diehl, Verizon Rep, distributed plan materials and briefly described the project - 2 antenna sectors with 4 antennas each (8 antennas total with sock covers) mounted on a 25' monopine tree and a 12' by 25' chain link enclosure with equipment boxes. Located at the water reservoir/tower, 10985 Avenida Maria, on the north end of PQ. She noted that Sprint is no longer pursuing their project at the water tower. Sellers stated that K. Diehl had been meeting with the Wireless Committee over the past couple of months to review the plans and work through the concerns and details. Murphy, Wireless Committee Chair, then read the recommendation of the committee followed by discussion.
 - i. Becker asked K. Diehl to confirm that the landscaping plans called for native plant materials? Yes and existing plant materials will stay, and irrigation will be provided to maintain new plants/trees. Becker recommended, as a condition of the approval, that more mature trees be planted, specifically 24" boxed trees become 36" boxed trees and the 15 gallon become 24" boxed trees.
 - ii. Murphy noted that the fencing should be of the same style and height with green vinyl slats The enclosure will be attached to the existing fence providing it's 4th side.

- iii. K. Diehl confirmed that the cabinets contained in the enclosure would be grey in color, the tree would be 25' high and the branches would extend beyond the equipment.

Motion: To approve the project as designed with the following conditions:

- 1) That the 24" box trees be changed to 36" box trees.
- 2) That the 15 gallon plants be changed to 24" box trees.
- 3) Fence to match in height and style with green vinyl slats.
- 4) Fence to have only three sides with the fourth side being the existing fence.
- 5) Equipment cabinets will be no higher than the fence.

M/S/C – Murphy/LaGrone, Approved 14-0-1 abstention (Shoecraft).

- c. **Rancho Peñasquitos Pump Station** – Design Build Capital Improvement Project to replace the existing Pump Station located in PQ at Sparren Way & Talca Avenue; distributed handout on project background and overview. George Fredha, City of San Diego, and Greg Parks of Katz & Associates (consultant & community liaison) presented on the status of project. To-date: Mitigated Negative Declaration was approved, designer hired to complete design by end of 2008, and project completion scheduled for 2010. Station will look like a house, approximately 3,000 sq. ft. with insulation to mitigate noise concerns of the neighbor. Presently meeting with neighbors to discuss issues, distributed door hanger last month to 15 surrounding homes, plan to keep informed of ongoing studies and construction. All questions can be directed to www.sandiego.gov/engineering-cip or call 619-533-4679.

Questions & Comments, RPPB Members:

- LaGrone asked what impact the change over might have on the community and the time to make the switch from old pump station to the new. Fredha stated that the community would be given notice and to actual switch could take approximately 3-5 hours to complete.
 - Spurr asked for more clarity in the local delivery system. Fredha stated that the pump would run during the hours of need to maintain water pressure & supply, usually daytime hours when the need is highest and taper off during the evening and night hours. The water source was the Miramar treatment plant with supply lines that filled the Black Mtn. & RB reservoirs.
 - Keating requested illustrated elevations of the plan be provided to RPPB.
 - Becker asked that a copy of design materials be supplied prior to the next meeting's presentation tentatively scheduled for July.
 - LaGrone asked if a story pole at the site might be beneficial to demonstrate the size and height of building on the lot. Fredha will look into the 'pole' suggestion.
 - Fredha added that the RB reservoir reconstruction was almost complete and should be online in November 2008.
 - Sellers added that construction vehicle traffic and parking have been a concern of local neighbors.
 - Diehl asked if the waterline construction at Canyonside Park going west would restart soon, when money becomes available.
- ii. Public Questions & Comment:
- Sherri Lightner asked if solar panels would be installed. Fredha stated that the roof on the station was not large enough for panels, but the RB reservoir has panels on the roof.

8. REPORTS.

a. Chair Report – Charles Sellers

- CPC Meeting 1) CPC set up a committee to research need of expanding the Planning Commission to ease workload/speed up the process; 2) COMPACT still exists – if anyone is interested in representing RPPB, let him know; 3) Follow-up to City Attorney's letter to the CPC about the use of secret ballots to elect officers - Sellers shared the Brown Act (Section 54952) definition of 'Legislative Body' which defines advisory bodies as legislative bodies and subject to the Brown Act (see attachment); 4) Substantial Conformance Review – CPC is working to get projects before planning groups v. city staff making decisions under SCR following staff approval of an RB project that should have been reviewed at the local level.

Vice-Chair Report – Jon Becker – no report

b. Secretary Report – Jeanine Politte

- Repaving of Peñasquitos Drive all the way to Del Diablo Way is in jeopardy because the City Attorney refused to approve the Bond that the Mayor's Office has proposed and the City Council has approved for infrastructure projects.

c. Standing Committee Reports:

- Land Use (Jon Becker) – PPH previously discussed; Black Mountain Ranch Community Plan Amendment will be on the LUC agenda for July.
- Wireless (Lynn Murphy) – Sellers will check with Murphy to see if any projects are on the June agenda.

e. Ad Hoc Committee Reports:

- Bylaws/Elections (Joost Bende) – Sellers reported that the Bylaws have been submitted to the city, hoping for approval by end of June so new members from Torrey Highlands and Black Mtn. Ranch can be seated in July.
- Community Funds (Bill Diehl) – no report
- Fire Prevention (Dennis Spurr) – Attended "Living with Wildfire" Fire Prevention program at Scripps Ranch Library. Natural History Museum discussed the biology of chaparral and coastal sage, the positive impact it has on nature and the regenerative properties. There are the obvious things you can do to your home to protect it – close off under-eave vents, replace shake roofs, and create defensible space around your home. He learned that the flame front of a fast moving fire, like the Cedar or Witch Creek fires, passes in approximately 2 minutes, and if your structure is build to withstand the heat and the flames, it can survive.
- Transportation (John Keating) – no report
- Santa Fe Summit (Jon Becker) – no recent communication from representatives.

f. Liaison and Organization Reports:

- Community Planners Committee (Charles Sellers) – reported under Chairs report.
- Black Mountain Ranch Open Space (Pamela Kelly) – Ranger Ed replaced Ranger Mel. Kelly reported on trail repairs, a new park kiosk has been set up at Black Mountain Community Park, and new maps are available at the kiosks
- MCAS Miramar Community Leaders Forum (Spurr and Diehl) – Flight routes have been modified during the US Open avoiding Torrey Pines Golf Course to eliminate noise.
- Recreation Council (Jim LaGrone) – Diehl reported no new action items. The Sports Council discussed field usage with only community parks available this fall for sports

(BMMS fields unavailable). He is attempting to get some newspaper articles published on the matter. Sellers asked if there had been further discussion and progress on instituting a fee structure for field use; not yet.

- Town Council (Mike Shoecraft) – Election of 4 new members was conducted at the Fiesta; they will be approved on June 5th.
- Park Village MAD (Jon Becker) – Preparing to oversee PPH open space.
- Peñasquitos East MAD (Bill Diehl) – Park & Rec to maintain 20' uphill from curbface at BM Community Park; need to hire park maintenance guys to replace those who left; a remote controlled airplane course has been set up illegally on public property in an undeveloped section of the park.
- Torrey Highlands MAD (Scot Sandstrom) – D. R. Horton is closing all San Diego offices, staff being transferred to Corona; LMAD met with D. R. Horton and is asking the city to foreclose on the bonds, but D. R. Horton is asking them to hold off.

The meeting was adjourned at 9:38pm.

Respectfully submitted,
Jeanine Politte, RPPB Secretary

Approved 7/2/08, 11-0-0.



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☒ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☒ Land Use Plan Amendment • ☒ Other Re-zone/Vacation

Project Title

Community Wellness Campus

Project No. For City Use Only

129854

Project Address:

12855 Black Mountain Road

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

ADMINISTRATION

PALOMAR
POMERADO
HEALTH

May 1, 2007

City of San Diego
Development Services Department
1222 First Ave, 3rd Floor
San Diego, CA 92101

Subject: Ownership Disclosure Form

Dear Development Services Staff:

The purpose of this letter is to inform the City of San Diego that the property located at 12855 Black Mountain Road is owned by Palomar Pomerado Health (PPH), a California special district formed pursuant to Sections 32000-32490.9 of the Health and Safety Code. As the President and CEO of PPH, I am authorized to acknowledge that an application for a permit has been filed and the district will record encumbrances against the property, consistent with the conditions of approval.

Sincerely,


Michael H. Covert, F.A.C.H.E.
President and CEO

Board Members

Marcelo Rivera, M.D.
Director

Nancy L. Bassett, R.N., M.B.A.
Secretary

T.E. (Ted) Kleiter
Treasurer

Linda Greer, R.N.
Vice Chair

Bruce Krider
Chairman

Alan W. Larson, M.D.
Director

Jerry Kaufman, M.A.P.T.
Director

Executive Management Team

Michael H. Covert, FACHE
President & CEO

Gerald Bracht
Chief Administrative Officer, Palomar Medical Center

Sheila Brown
Chief Clinical Outreach Officer

Duane Buringrud, M.D.
Chief Medical Quality Officer

Gustavo Friederichsen
Chief Marketing Officer

Robert Hemker
Chief Financial Officer

Opal Reinbold

Chief Quality Officer

Janine Sarti, Esq.

General Counsel

Lorie Shoemaker, RN, MSN, NEA-BC

Chief Nurse Executive

David Tam, M.D., FACHE

Chief Administrative Officer, Pomerado Hospital

Steve Tanaka

Chief Information Officer

DEVELOPMENT SERVICES
Project Chronology
 COMMUNITY WELLNESS CENTER - PROJECT NO. 129854

Date	Action	Description	City Review Time	Applicant Response
06/21/07	First Submittal	Project Deemed Complete		
08/09/07	First Assessment Letter		49 days	
01/31/08	Second Submittal			175 days
03/14/08	Second Review Complete/Second Assessment Letter		43 days	
06/27/08	Third Submittal			105 days
08/06/08	Third Review Complete/Third Assessment Letter		40 days	
12/04/08	Fourth Submittal			120 days
02/03/09	Fourth Review Complete/Project Reviews Complete		61 days	
04/09/09	Planning Commission Hearing		65 days	
TOTAL STAFF TIME**			218 days = 7 months and 8 days	
TOTAL APPLICANT TIME**				400 days = 1 year, 1 month and 5 days
TOTAL PROJECT RUNNING TIME**		From Deemed Complete to Planning Commission	618 days = 1 year, 8 months and 13 days	

**Based on 30 days equals to one month.

Planning Commission Initiation Issues & Responses for PTS # 129854, Community Wellness Center

The Plan Amendment was initiated by the Planning Commission on January 19, 2006. At the Planning Commission Initiation, several issues were identified for future analysis. Planning Commission issues and staff responses are provided below.

1. Analysis of an appropriate land use and zoning designation for the subject property.

The 4.45-acre site is currently designated *Religious Facility* within the Rancho Penasquitos Community Plan. The requested Community Plan Amendment (CPA) would create a new land use designation of *Health Clinic & Wellness Center*, which would be grouped with the other institutional uses contained in the community plan. A land use heading of *General Institutional* is proposed by staff in order to group these uses into a single category similar to the General Plan framework. The CPA would allow for the development of the proposed medical facility and associated community wellness center.

The new outpatient clinic/medical office building would provide space for an outpatient urgent care facility and medical offices. The adjacent Wellness Center would provide educational classes such as childbirth and behavioral health classes, as well as group activities and fitness programs, and include numerous meeting rooms of various seating capacities, waiting room, nurse's office, and dining/activity room. Analysis has concluded that the proposed project would fit the description of *Institutional and Public and Semi-Public Facilities* land use category in the General Plan.

At present, the site is zoned RS-I-14. The request would change the zone to IL-3-1. The property has historically been used for a church/school. The proposed uses associated with a wellness campus are consistent with the proposed zone.

2. Compatibility of the proposed development with surrounding uses.

The most immediate land use to the proposed wellness campus is the Church of the Latter Day Saints, another community-serving use, which borders the proposed project site on portions of two sides. The wellness campus and church, as institutional uses, would be considered compatible. Their peak traffic hours are different, eliminating any incompatible effects in terms of circulation and parking.

Along the northern edge of the proposed use is State Route 56, which offers convenient regional access. The proposed use can utilize freeway access to minimize traffic on the community's broader circulation system. This is a benefit to the project as well as the community.

Two existing single-family neighborhoods also exist near the site. The neighborhood to the west would not be significantly impacted by the proposed project. This is due to Black Mountain Road, a wide primary arterial, and the placement of the buildings on the irregularly shaped site

which would create an approximately 400 foot separation between the wellness clinic and existing homes on the west.

A second neighborhood of single-family homes is located to the south of the property, but is topographically separated by an existing (approximately) 40-foot high slope. Several trees and landscape areas assist with the visual separation between the existing church/proposed wellness center and residential neighborhood. Design features applied to the proposed project will minimize any potential visual impacts. For instance, the nave portion of the existing building remains and faces the adjacent residential neighborhood, maintains its existing architectural style which may be characterized as Spanish/Mediterranean. Keeping this part of the building intact would eliminate potential visual impacts from the residential neighborhood. The building then transitions into a more modern style when it wraps around to the front entrance that faces the Clinic. Adjusting of materials and the use of neutral colors helps softens the transition.

3. Evaluation of traffic impacts of the proposed change in use to determine if any circulation improvements would be necessary.

A traffic analysis was prepared by Linscott Law & Greenspan Engineers (LLG) in February 2007 which evaluated the potential impacts of the proposed project both in the near-term (2010-2011) and long-term (2030) conditions. The proposed project would generate 1,160 more average daily trips than the historical use of the site for a church/school. However, the proposed project is projected to reduce the amount of traffic during the AM and PM peak hours. The study, which assumed that Black Mountain Road will not be widened, concluded that the proposed project would not result in any significant impacts to intersections, road segments or freeway segments during both AM and PM peak hour periods in the near-term or long-term conditions.

To comply with a request of city traffic staff, the applicant will be providing an Irrevocable Offer to Dedicate (IOD) additional right-of-way along Black Mountain Road. As described in the traffic report, the proposed change in use did not generate the need for any additional circulation improvements.

4. Analysis of shared facilities with the adjacent property

The only currently shared facility is the access driveway which has historically served both the site of the proposed use and the neighboring church. Using a combined access has worked well for both parties and avoided the need for two closely spaced driveways off a six-lane primary arterial. Shared parking between the proposed wellness center and the church does not need to be explored with this permit because the wellness center is able to meet Municipal Code parking requirements onsite.

5. Evaluation of including the adjacent property in the proposed community plan amendment.

The adjacent property is occupied by the Church of the Latter Day Saints, which is identified as *Religious Facility* in the community plan. It is anticipated this existing land use will continue for the foreseeable future. Representatives of the church have not asked to be included in the proposed community plan amendment. Both the Wellness Campus and Church are institutional uses and would be considered compatible neighbors.

The requested CPA would create a new land use designation of *Health Clinic & Wellness Center*, which would be grouped with the other institutional uses contained in the community plan. A land use heading of *General Institutional* is proposed by staff in order to group these uses into a single category similar to the General Plan framework. Uses under General Institutional include health clinic & wellness center, church, school, and civic buildings (police, fire, etc.)

6. Compatibility between the proposed community plan amendment and the City's Progress Guide and General Plan and Strategic Framework Element.

The overriding premise of the Progress Guide and General Plan and Strategic Framework Element is to protect the health, safety and welfare of the public. Palomar Pomerado Health's proposed land use amendment to provide for a satellite facility (outpatient clinic and medical offices) is consistent with this fundamental goal because it would provide needed medical services to residents within the vicinity. Presently, there are no health care-related facilities in the community, with the health care services needs of the Rancho Penasquitos are currently met by facilities in Escondido, Poway and the north-central portion of the City of San Diego.

Another important goal of both documents is to assure the adequate provision of public facilities and services such as parks, circulation, fire and police. The service of providing medical treatment is also critical given the continuing growth and aging nature of the population. Health care is entrusted to a variety of public and private entities, rather than being a municipal responsibility. In California, a total of 85 public health districts exist; Palomar Pomerado Healthcare, California's largest public health district, can fulfill the public's medical service needs by modernizing and expanding facilities consistent with the City's long-range plans.

The Social Needs Element of the Rancho Penasquitos Community Plan notes the limited nature of social programs and institutions, and advocates the need to expand health and mental health services. The Public Facilities and Service Element indicate that consideration should be given to establishing a community health care clinic, centrally located in Rancho Penasquitos to serve the North City area. The clinic, as envisioned by the community plan, could provide community health education and information services, as well as operate as a center for prevention and education services. Limited emergency, diagnosis and treatment services could also be possible. Palomar Pomerado Health, by establishing and operating the proposed satellite facility, would fulfill these important objectives of the 1993 Rancho Penasquitos Community Plan.