



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: April 2, 2009 **REPORT NO. PC-09-019**

ATTENTION: Planning Commission, Agenda of April 9, 2009

SUBJECT: COMMUNITY WELLNESS CENTER - PROJECT NO. 129854
PROCESS FIVE

REFERENCE: Planning Commission Report No. PC-06-005
<http://www.sandiego.gov/planning-commission/pcreports/pc05006palomar.pdf>

OWNER: Palomar Pomerado Health (PPH), Michael H. Covert (Attachment 15)

APPLICANT: MetroPlan, LLC., Richard L. Miller

SUMMARY

Issue(s): Should the Planning Commission recommend approval to the City Council for a two-story Outpatient Clinic/Medical Office Building and a one-story Wellness Center located at 12855 Black Mountain Road within the Rancho Penasquitos Community Plan?"

Staff Recommendations:

1. Recommend **APPROVAL** to the City Council a resolution stating for the record that the City of San Diego as the responsible agency under the California Environmental Quality Act (CEQA) has reviewed and considered the Mitigated Negative Declaration prepared by Palomar Pomerado Health (PPH), and adopt the Mitigation, Monitoring and Reporting Program (MMRP);
2. Recommend **APPROVAL** to the City Council of a General/Community Plan Amendment from 'Religious Facility' to 'General Institutional'.
3. Recommend **APPROVAL** to the City Council of a Rezone from RS-1-4 to IL-3-1.
4. Recommend **APPROVAL** to the City Council of Water Easement Vacation No. 447488.

5. Recommend **APPROVAL** to the City Council of Site Development Permit No. 447403; AND
6. Recommend **APPROVAL** to the City Council of Planned Development Permit No. 447402.

Community Planning Group Recommendation: On June 4, 2008, the Rancho Penasquitos Community Planning Board voted to recommend approval by a vote of (14-0-1) with 10 conditions of approval (Attachment 14).

Environmental Review: A Mitigated Negative Declaration (MND) has been prepared by Palomar Pomerado Health (PPH) as Lead Agency in accordance with the California Environmental Quality Act (CEQA) guidelines, which addressed the potential impacts to Air Quality, Biological Resources, Archaeological Resources, and Noise. The City of San Diego, as the Responsible Agency under CEQA, has reviewed and considered the MND, State Clearing House No. 2007051052, dated June 20, 2007. Staff has determined that the MND adequately addresses issues related to the project. A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project to reduce the impacts to a level below significance.

Fiscal Impact Statement: No cost to the City. A deposit account funded by the applicant recovers all costs associated with the processing of the project application.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The proposed project would have a neutral impact on housing. The Rancho Penasquitos Community Plan designates this site as 'Religious Facility' with the proposed project requesting a land use designation change to 'General Institutional'. The request includes the development of a total of 51,500 square feet of medical/clinic/office uses and would not remove or add any housing to the Rancho Penasquitos community. Therefore, the proposed project would not result in an increase or decrease in existing or potential housing units.

BACKGROUND

The project is located on a 4.45 acre developed site located at 12855 Black Mountain Road within the Rancho Penasquitos Community Plan Area (Attachment 3). The 4.45 acre site is currently developed with one large building and associated parking to accommodate a church, primary school and child care center which was approved under Conditional Use Permit (CUP) No. 4792. The project site is currently vacant with no users within the existing building. The building was previously used by Maranatha Chapel, a California nonprofit religious corporation. The two-story Maranatha Chapel structure is located in the southwestern portion of the site. Paved parking areas and landscaping are located to the west and north of the existing building. Vacant land exists on the eastern portion of the site.

On January 19, 2006, the Planning Commission approved initiation of a proposed amendment that would re-designate the site to a new land use category of 'General Institutional'.

DISCUSSION

Project Description:

The proposed project would consist of development of an approximately 51,500 square foot healthcare facility to serve the Rancho Peñasquitos community on a previously developed site. The proposed project would include development of a two-story, 40,000 square foot Outpatient Clinic/Medical Office Building located in the northern portion of the site currently used for surface parking. In addition, the project would include partial demolition of the existing two-story building and redevelopment of the remaining portion of the structure into a one-story, 11,500 square-foot Community Wellness Center. The new outpatient clinic/medical office building would provide space for an outpatient urgent care facility and medical offices. The Community Wellness Center would provide educational classes such as Childbirth and behavioral health classes, as well as group activities and fitness programs, and include numerous meeting rooms of various seating capacities, waiting room, nurse's office, and dining/activity room. The project would provide a total of 206 onsite surface parking spaces.

The site is bound by SR-56 to the north, a Church of the Latter Day Saints (LDS) facility and existing residential uses in the Ridgewood neighborhood to the south, to the west by Black Mountain Road and residential uses in the Parkview neighborhood, and to the east by existing residential uses within the Ridgewood neighborhood of Rancho Peñasquitos (Attachment 1).

If the proposed project is approved by City Council, the applicant will withdraw the existing approved Conditional Use Permits Nos. C-19501 and 4792, that allow for the operation of a church and school on the site.

The project requires the approval of a General Plan/Community Plan Amendment, Rezone from RS-1-14 to IL-3-1, Water Easement Vacation, Site Development Permit and Planned Development Permit.

Community Plan Amendment

The project is requesting a General/Community Plan Amendment to change the land use designation from 'Religious Facility' to 'General Institutional' within the Rancho Penasquitos Community Plan. A detailed analysis of the requested General/Community Plan Amendment to the Rancho Penasquitos Community Plan is provided below under 'Community Plan and General Plan Analysis'.

Rezone

The project is requesting to rezone the 4.45 acre site from RS-1-14 to IL-3-1. The proposed clinic and wellness center would be consistent with the proposed IL-3-1 Zone.

Easement Abandonment

In 1989, the City of San Diego was granted a water easement according to file no. 89-257063, on

the project site. As a part of constructing the proposed project, the applicant is requesting that an area of 0.136 acres be vacated as show on Attachment 13. There is no present or prospective public use for this water easement. There is no other public use of a like nature that can be anticipated for such easements on the project site.

Site Development Permit (SDP)

A SDP is required because the project site contains Environmentally Sensitive Lands in the form of sensitive biological resources identified as Diegan Coastal Sage Scrub. Pursuant to SDMC Chapter 14, Article 3, Division 1 of the Environmentally Sensitive Lands (ESL) Regulations, any portion of the premises that contains, among others, steep hillsides and sensitive biological resources would be subject to ESL regulations. The project site is not within the Multiple Habitat Planning Area (MHPA) nor is it adjacent to MHPA lands. Direct project impacts to Diegan Coastal Sage Scrub is approximately 0.07 acre, which does not require mitigation as the threshold to require mitigation is 0.1 acre of impact to sensitive habitat.

Planned Development Permit (PDP)

The proposed Planned Development Permit (PDP) would allow for greater flexibility in the application of development regulations for the project where strict application of the development regulations would restrict design options. The PDP would help to implement the City's objectives for institutional projects, such as the proposed development. The PDP allows for deviations to the Fence Regulations, pursuant to SDMC Section 142.0340(f). The retaining wall deviation is located along the northern portion of the site and is approximately 510 feet long with a 293 foot portion varying in height from 10 to 14 feet. The portions of the retaining wall exceeding 12 feet require the requested deviation from the San Diego Municipal Code.

Staff is able to support this deviation as the proposed location of the retaining wall allows for the clinic building to be sited on the project site allowing for internal vehicular circulation and an adequate separation from the proposed Wellness Center building. The deviation is for an area of the wall located behind the proposed Outpatient Clinic/Medial Office Building adjacent to Caltrans Right-of-Way which has an uphill topography. The wall cannot be seen from State Route 56 nor Black Mountain Road as the topography trends uphill in this area of the site and adjacent to the site. All other proposed walls and retaining walls within the project site are consistent with the San Diego Municipal Code. These elements of design review are included within the project's exhibit of approval and Planned Development Permit (Attachment 7).

Community Planning Group

On June 4, 2008, the Rancho Penasquitos Community Planning Board voted to recommend approval by a vote of (14-0-1) with 10 conditions of approval (Attachment 14). The conditions requested by the group covered the following issues: site specific height limit of 42 feet; site irrigation to be connected to the City's recycled waterlines; site shall not use any commercial wireless facilities; strong encouragement to attain US Green Building Council's (USGBC'S) Leadership in Energy and Environmental Design (LEED) Silver Certification; requesting that the applicant provide the group with proposed interior plans and sign package; Facilities Benefit Assessment (FBA) fees to be charged at the Commercial Rate not Hospital Rate; applicant shall

provide irrigation and landscaping to the City's Right-of-Way north of the site line to State Route 56, and that all conditions discussed at the meeting be recorded for the project.

Staff has reviewed these conditions of approval presented by the Rancho Peñasquitos Community Planning Board and have determined that none of these conditions can be included within the permit for the project as these conditions of approval are inconsistent with the adopted San Diego Municipal Code (SDMC). Therefore, none of the conditions of approval are currently incorporated into the permit.

Community Plan & General Plan Analysis

Community Plan Analysis:

The Rancho Peñasquitos Community Plan is the City's adopted land use plan for the community where the project is located. This project includes several changes to the community plan, which was originally approved in March 1993, and last revised in March 2004. The proposed changes are called out in the attached draft Community Plan Amendment (CPA) in strikeout/underline format (Attachment 11).

The Community Plan Amendment was initiated by the Planning Commission on January 19, 2006. At the meeting, several issues were identified for future analysis. Areas identified for future analysis were: appropriate land use and zoning designation; compatibility to surrounding uses; evaluate traffic impacts; evaluate including the adjacent property in the proposed community plan amendment; and compatibility with the City's Progress Guide, General Plan, and Strategic Framework Element. Planning Commission Report No. PC-06-005 is provided at: <http://www.sandiego.gov/planning-commission/pcreports/pc05006palomar.pdf>

The 4.45-acre site is currently designated *Religious Facility* within the community plan (Attachment 11). The requested Community Plan Amendment would create a new land use designation of *Health Clinic & Wellness Center*, which would be grouped with the other institutional uses contained in the community plan. A land use heading of *General Institutional* is proposed by staff in order to group these uses into a single category similar to the General Plan framework. The CPA would allow for the development of the proposed medical facility and associated community wellness center.

The new outpatient clinic/medical office building would provide space for an outpatient urgent care facility and medical offices. The adjacent Wellness Center would provide educational classes such as childbirth and behavioral health classes, as well as group activities and fitness programs, and include numerous meeting rooms of various seating capacities, waiting room, nurse's office, and dining/activity room. Analysis has concluded that the proposed project would fit the description of 'General Institution' land use category in the General Plan, which identifies General Institution as uses "which offer public and semi-public services to the community."

Presently, there are no health care-related facilities in the community, and the community plan recognizes that "the health care services needs of the Rancho Peñasquitos are currently met by facilities in Escondido, Poway and the north-central portion of the City of San Diego." Therefore, the community plan specifically states that "consideration should be given to a

community health clinic, centrally located in Rancho Peñasquitos” to serve the community and nearby areas.

The proposed facility would provide a health clinic as recommended by the community plan, which recognize that health care services could include “health education and information services, as well as operate as a center for prevention and detection services....limited emergency, diagnosis, and treatment services.” Another goal identified in the community plan is to “provide and maintain a high level of public facilities and services concurrent with community growth and tailored to community needs.” The proposed medical facility would support this community plan objective by providing a needed community service. Therefore, it has been determined by staff that the land use change from religious facility to health-care facilities is consistent with objectives of the Plan.

General Plan Analysis:

A comprehensive update of the City’s General Plan was adopted on March 10, 2008, and was based on a new planning strategy for the City developed in the 2002 Strategic Framework Element. Known as the City of Villages strategy, the General Plan aims to redirect development away from undeveloped lands into already urbanized areas and/or areas with conditions allowing the integration of housing, employment, civic, and transit uses.

Provided are thorough discussions for each element applicable to this project:

Land Use & Community Planning – The land use element contains policy direction for implementing the City of Villages strategy, provides citywide land use policies and designations, and establishes community plans as integral components of the General Plan.

The 4.45-acre site is designated as *Institutional & Public and Semi-Public Facilities* in the General Plan and *Religious Facility* in the community plan (see Attachment 11). The requested Community Plan Amendment would create a new land use designation of *General Institutional - Health Clinic & Wellness Center*, which is consistent with the current land use designation in the General Plan.

Mobility - The Mobility Element strives to improve mobility through development of a balanced transportation system that addresses walking, bicycling, transit, and roadways in a manner that strengthens the City of Villages land use vision. Goals of the Mobility Element include creating walkable communities with pedestrian-friendly street, site, and building design.

The proposed project is directly adjacent to a Class 1 Bike Path, which is defined as a separate right-of-way for the exclusive use of non-motorized travel. This bike path travels alongside State Route 56, and stretches almost the entire length of the highway. The Class 1 route is the main path in a network of bike ways in North San Diego, and connects to at least 5 other designated bike ways.

In addition, bus lines 20, 844, and 850 presently serve the community of Rancho Peñasquitos. The nearest bus stops to this project site are about a mile away, and can be accessed via major and inside streets and the bike trail. Rancho Peñasquitos has a maintenance assessment district

to help further preserve the community's emphasis towards mobility and community appearance. This combined with Rancho Peñasquitos reputation for low-crime makes for an inviting and pleasant pedestrian environment.

Urban Design – The Urban Design Element establishes a set of design principles from which future physical design decisions can be based. Policies call for respecting San Diego's natural topography and distinctive neighborhoods; guiding the development of walkable, transit-oriented communities; providing distinctive public places; and implementing public art.

The proposed Clinic building establishes a contemporary architectural form that ties the campus to the broader regional Pomerado Palomar Health (PPH) network. To reinforce the campus theme, this style is introduced into the existing building (wellness center) that would be modified with the addition of a new entry element and facade facing the Clinic building. The nave portion of the existing building remains and faces the adjacent residential neighborhood, maintains its existing architectural style which may be characterized as Spanish/Mediterranean. Keeping this part of the building intact would eliminate potential visual impacts from the residential neighborhood. The building then transitions into a more modern style when it wraps around to the front entrance that faces the Clinic. Adjusting of materials and the use of neutral colors helps softens the transition.

The theme of this new style relates the concept of wellness to nature through the transparency of glass and a variety of garden/terrace elements that promote a healing environment. Neutral earth tones dominate the material palette, harmonizing with the surrounding landscape and the architecture of neighboring buildings.

Economic Prosperity – The Economic Prosperity Element includes policies aimed at supporting an innovative and sustainable local economy, and achieving a rising standard of living for San Diego's workforce.

Palomar Pomerado Health was ranked as the third best workplace among similar sized companies in San Diego County, according to an article published by the San Diego Magazine. The survey was designed to measure company policies and practices in nine categories: work/life balance, employee voice and work culture, community involvement, turnover, pay, benefits, perks and incentives, training and opportunities for advancement and diversity. It is anticipated that a facility of this scale would create hundreds of jobs that would attract people from a wide-range of income levels.

Public Facilities, Services and Safety – The Public Facilities, Services, and Safety Element includes policies on the prioritization and provision of public facilities and services, evaluation of new growth, guidelines for implementing a financing strategy, and guidelines for the provision of specific facilities. Policies call for new growth to pay its fair share, with the City and community-at-large responsible for remedying existing facilities deficiencies.

Properties and land being developed in the City of San Diego are assessed a certain amount that would be used towards public facilities. The assessment is determined by the type, size, and location of the development for the permit being issued. Monies collected are placed in a City special fund by community, to be used solely for those major public facilities shown in the

financing plan for each community. In Rancho Peñasquitos, the fee for this type of development would be \$137,370 per acre based on Fiscal Year 2009 (FY2009). Services related to Police and Fire have been calculated in this fee. Library services are not applicable since this is a non-residential project.

Conservation – The Conservation Element calls for the City to be a model for sustainable development, to address climate change impacts, and to preserve quality of life in San Diego. It includes policies to: reduce the City’s carbon footprint; promote sustainable development; promote clean technology industries; conserve natural resources; protect unique landforms; preserve and manage open space and canyon systems, beaches and watercourses; and prevent and reduce pollution. Sustainable conservation practices would help ensure that future generations would be able to meet their needs and enjoy a high quality environment.

Under the Leadership in Energy and Environmental Design (LEED) system, credit can be earned in five primary categories of sustainable design: Sustainable Sites, Water Efficiency, Energy & Atmosphere, Materials & Resources, and Indoor Environmental Quality, and the project can pursue design goals in all five of these categories. Applications for the various credits are made and evaluated by the US Green Building Council in order to establish certification for a project. At this phase of the design process it is difficult to say with precision exactly which credits would be received. Still, the applicant has stated that they are committed to pursue LEED certification of the proposed project, although this project has not been conditioned to attain LEED certification.

The following is a list provided by the applicant identifying some of the green features this project proposes to incorporate in order to achieve their sustainable goals:

- Preparation of a Construction Activity Pollution Prevention Plan
- Use of cool roof and landscaping to reduce Heat Island effect
- Use of water efficient landscaping & irrigation
- Design HVAC systems to minimize energy consumption & optimize energy performance
- 3rd party commissioning of building energy systems to verify design and optimize performance
- Preparation of a Construction Waste Management Plan – Divert construction waste from landfill
- Use of materials with recycled content (10%-20% minimum)
- Use of low-emitting materials (for example adhesives, sealants, paints, carpeting, and composite wood)
- Preparation of a Construction Interior Air Quality Management Plan

Noise – The Noise Element contains policies addressing compatible land uses and the incorporation of noise abatement measures for new uses to protect people from living and working in an excessive noise environment. It includes a matrix that identifies compatible, conditionally compatible, and incompatible land uses by noise decibel level. A Noise Impact Analysis was prepared by Giroux & Associates (July 2006) to assess potential impacts from construction noise, traffic noise and on-site noise sources associated with construction and operation of the proposed project. It was determined that measures would be implemented to mitigate potential noise impacts to a level that would be less than significant as discussed within

the Final MND for the project.

Project-Related Issue:

Retaining Wall Height Deviation – Implementation of the proposed project will require a deviation for the retaining wall height [SDMC Section 142.0340(f)] along the area behind the proposed clinic, along the northern property line, adjacent to Caltrans property and State Route 56. The proposed retaining wall along the northern portion of the site is 510 feet long with a 293 foot portion varying in height from 10 to 14 feet. The portions of the retaining wall exceeding 12 feet require the requested deviation from the San Diego Municipal Code.

Staff is able to support this deviation as the proposed location of the retaining wall allows for the clinic building to be sited on the project site allowing for internal vehicular circulation and an adequate separation from the proposed Wellness Center building. The deviation is for an area of the wall located behind the proposed Outpatient Clinic/Medial Office Building adjacent to Caltrans Right-of-Way which has an uphill topography. The wall cannot be seen from State Route 56 nor Black Mountain Road as the topography trends uphill in this area of the site and adjacent to the site. All other proposed walls and retaining walls within the project site are consistent with the San Diego Municipal Code.

Conclusion:

Staff has determined the proposed project complies with the applicable sections of the Municipal Code and adopted City Council policies. Staff has determined the required findings would support the decision to approve the proposed project's General/Community Plan Amendment, Rezone, Water Easement Vacation, Site Development Permit and Planned Development Permit (Attachments 8, 9 and 10). A Mitigated Negative Declaration was prepared by PPH for this project, as the Lead Agency. The Mitigation, Monitoring and Reporting Program (MMRP) would reduce any potentially significant impact to a level below significance.

ALTERNATIVES:

1. a. Recommend to the City Council **Adoption** of the Mitigation Monitoring and Reporting Program; and
b. Recommend to the City Council **Approval** of General/Community Plan Amendment, Rezone, Water Easement Vacation No. 447488, Site Development Permit No. 447403 and Planned Development Permit No. 447402, with modifications; or,
2. a. Recommend to the City Council they **Do Not Adopt** the Mitigation Monitoring and Reporting Program; and
b. Recommend to the City Council **Denial** of General/Community Plan Amendment, Rezone, Water Easement Vacation No. 447488, Site Development Permit No. 447403 and Planned Development Permit No. 447402, with modifications, if the findings required to approve the project cannot be affirmed.

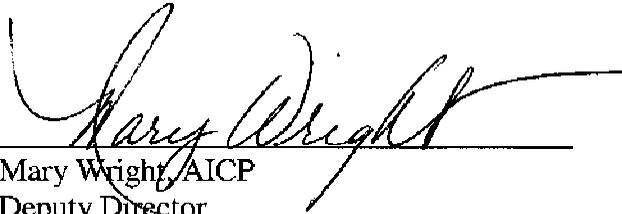
Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



Laura C. Black, AICP
Project Manager
Development Services Department

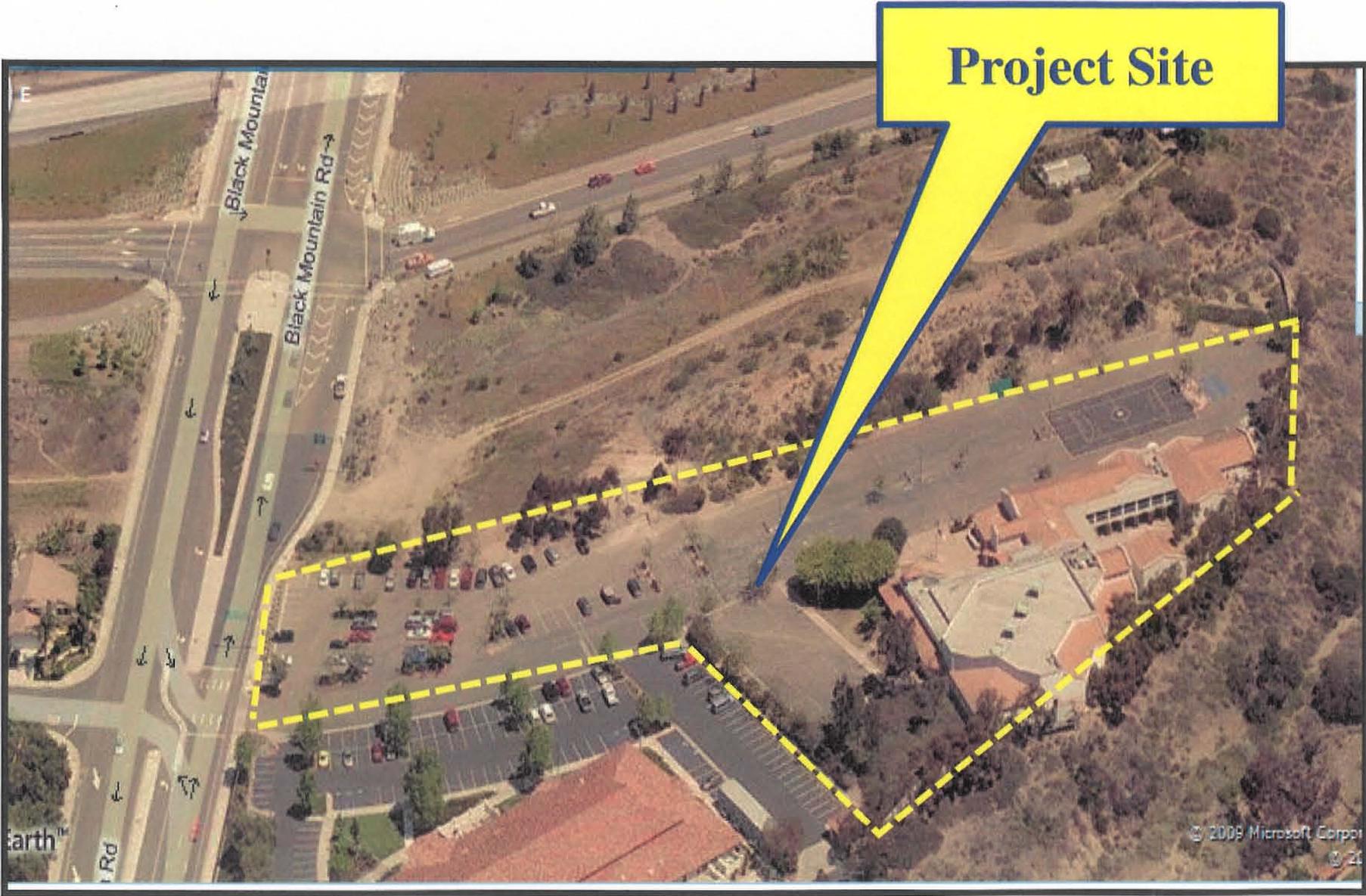


Mary Wright, AICP
Deputy Director
City Planning and Community Investment Department

MW/LCB

Attachments:

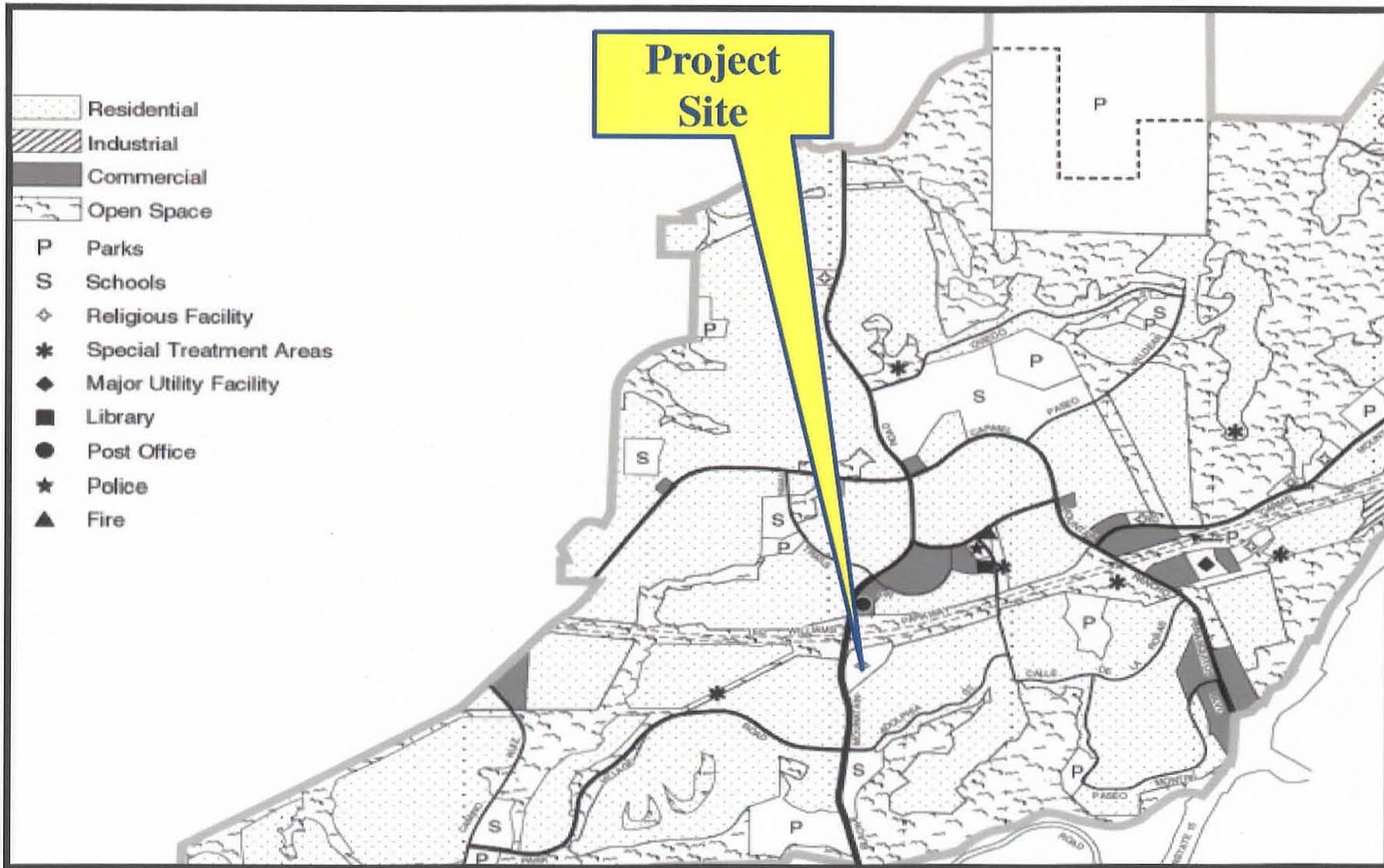
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Project Site Plan
6. Project Plans
7. Draft Permit with Conditions
8. Draft Resolution with Findings
9. Draft Rezone Ordinance
10. Draft Community Plan Amendment Ordinance
11. Draft Community Plan Amendment Documents (Strikeout/Underline and Clean Copy)
12. Rezone - B Sheet
13. Water Easement Vacation - B Sheet
14. Community Planning Group Recommendation
15. Ownership Disclosure Statement
16. Project Chronology
17. Staff's Responses to issues raised by Planning Commission during the Community Plan Initiation discussion on January 19, 2006



Aerial Photo

Community Wellness Campus– 129854
12855 Black Mountain Road



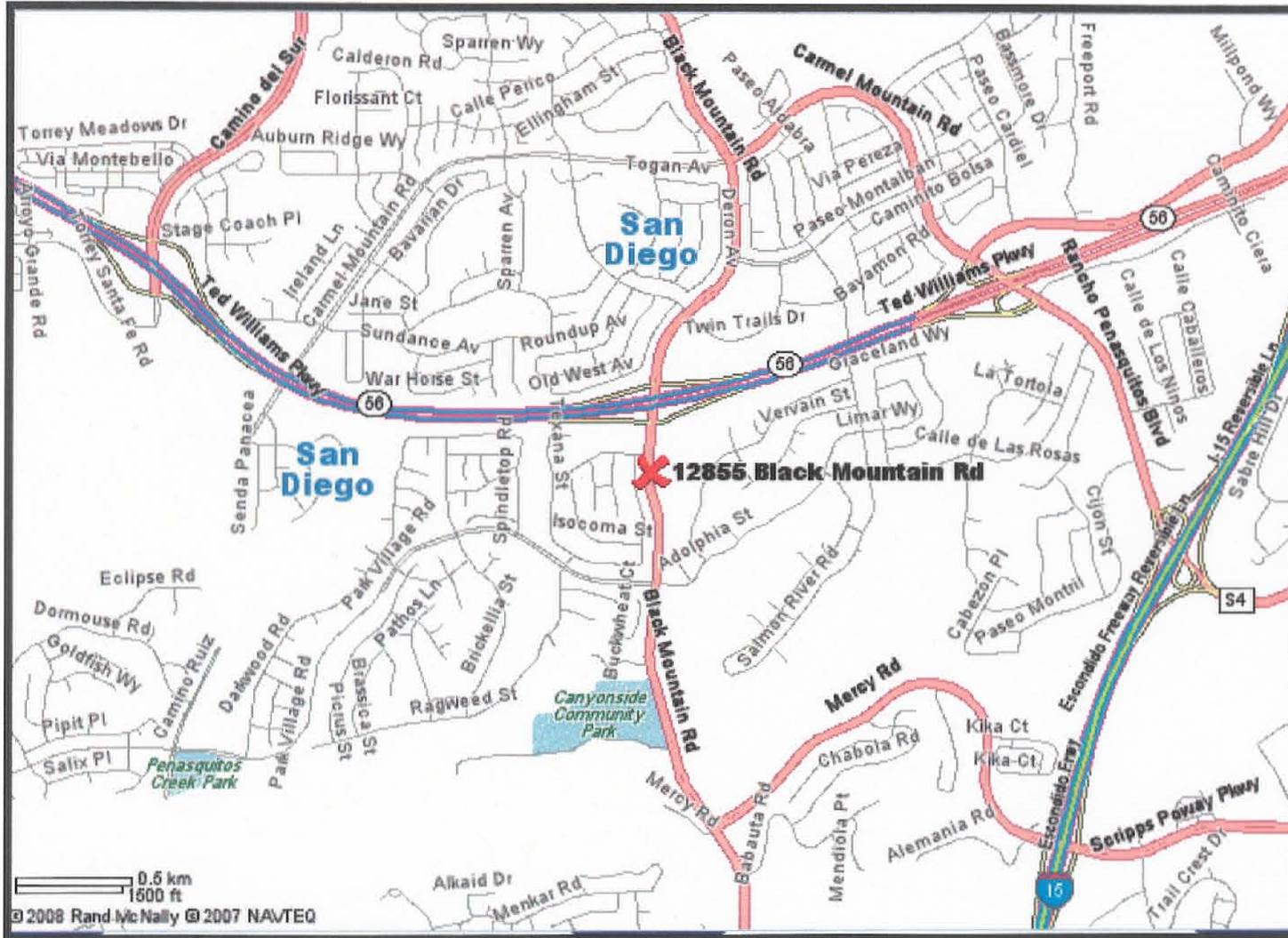


Rancho Penasquitos Land Use Map

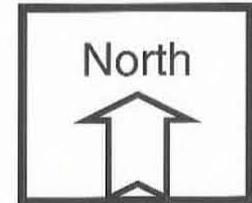
Community Wellness Campus – 129854

12855 Black Mountain Road





Project Location Map
Community Wellness Campus— 129854
12855 Black Mountain Road



PROJECT DATA SHEET

PROJECT NAME:	Community Wellness Center – Project No. 129854	
PROJECT DESCRIPTION:	Demolition of portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road.	
COMMUNITY PLAN AREA:	Rancho Peñasquitos Community Plan	
DISCRETIONARY ACTIONS:	General Plan/Community Plan Amendment, Rezone from RS-1-14 to IL-3-1, Planned Development Permit, Site Development Permit for Environmentally Sensitive Lands and Water Easement Abandonment	
COMMUNITY PLAN LAND USE DESIGNATION:	Proposed redesignation to “General Institutional” from “Religious Facility”	
<u>ZONING INFORMATION:</u> ZONE: IL-3-1 (Industrial-Light) HEIGHT LIMIT: N/A LOT SIZE: 15,000 square foot minimum lot size, project site is 4.45 acres FLOOR AREA RATIO: 2.0 maximum, project has an FAR of 0.27 FRONT SETBACK: 15 feet min/20 feet standard, project provides 261 feet SIDE SETBACK: 10 foot min, project side setbacks vary but provides at least the minimum required 10 feet STREETSIDE SETBACK: 15 feet min/20 feet standard, N/A to project REAR SETBACK: 25 feet min (abutting residential), project provides 26 feet PARKING: 206 spaces required, project provides 206 onsite spaces		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Commercial; CC-1-3 and RM-2-5	State Route 56, Commercial and Multi-Family Residential
SOUTH:	Residential; RS-1-14	Single Family Residential
EAST:	Residential; RS-1-14	Single Family Residential
WEST:	Residential; RS-1-14	Single Family Residential

DEVIATIONS OR VARIANCES REQUESTED:	One deviation is requested for the proposed retaining wall located behind the proposed clinic building, adjacent to Caltrans property and State Route 56. The deviation is requesting that a 293 foot portion of the 510 foot long retaining wall vary in height from 10 to 14 feet. All portions above 12 feet require the requested deviation.
COMMUNITY PLANNING GROUP RECOMMENDATION:	On June 4, 2008, the Rancho Peñasquitos Planning Board voted 14-0-1 to recommend approval of the project with 10 conditions of approval.

PALOMAR POMERADO HEALTH RANCHO PENASQUITOS CLINIC & COMMUNITY WELLNESS CENTER

PLANNED DEVELOPMENT PERMIT / SITE DEVELOPMENT PERMIT

DEVELOPMENT SUMMARY

BULLET POINT NARRATIVE: THE PROPOSED SITE PLAN FEATURES:

1. THE PRESERVATION OF THE NAVE PORTION OF THE EXISTING CHAPEL, WHICH WILL BECOME THE CENTERPIECE FOR AN APPROXIMATELY 1,100 SQUARE FOOT COMMUNITY WELLNESS CENTER OFFERING HEALTH EDUCATION/COUSSELING AND RELATED SERVICES. TOYAL UNITS COULD INCLUDE CHILDREN'S CLASSES, DIRECTOR, COUNSELING OR IN-STAFF TRAINING.
2. A TWO-STORY CLINIC OF APPROXIMATELY 40,000 SQUARE FEET ACCOMMODATING DOCTORS' OFFICES AND AN OUTPATIENT URGENT CARE FACILITY. THE BUILDING MAY BE DIVIDED INTO TWO WINGS.
3. A CENTRAL PLAZA, SHADE STRUCTURES, HARDSCAPE AND LANDSCAPE THAT DEFINES A PEDESTRIAN CONNECTION BETWEEN THE TWO BUILDINGS.
4. APPROXIMATELY 200 PARKING SPACES AND OTHER SITE AMENITIES.
5. REQUESTED ACTIONS: SITE DEVELOPMENT PERMIT (SDP), PLANNED DEVELOPMENT PERMIT (PDP), COMMUNITY PLAN AMENDMENT, CASHMENT VACATION, REZONING, (PROPOSED)
6. A PLANNED DEVELOPMENT PERMIT SEVERANCE IS BEING REQUESTED TO EXCEED THE REMAINING WALL HEIGHT LIMITS FOR AN APPROXIMATELY 283 FOOT PORTION OF AN APPROXIMATELY 510 FOOT LONG RETAINING WALL. THE PORTION OF THE WALL WHICH EXCEEDS THE HEIGHT LIMIT VARIES FROM 10 FEET TO 15 FEET IN HEIGHT.

BRIEF LEGAL DESCRIPTION: PARCELS 2 OF PARCELS MAP NO. 14568 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SHOWN IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 4, 1988, EXCEPTING THEREFROM THAT PORTION GRANTED TO THE CITY OF SAN DIEGO BY DEED RECORDED SEPTEMBER 23, 1999 AS FILE NO. 199-068-376 OF OFFICIAL RECORDS.

ASSASSOR'S PARCEL NUMBER: 219-450-20

EXISTING PERMITS: CUP NO. 4292 (PIS 1877)

EXISTING COMMUNITY PLAN: RANCHO PENASQUITOS

EXISTING LAND USE DESIGNATION: RELIGIOUS FACILITY

PROPOSED LAND USE DESIGNATION: GENERAL INSTITUTIONAL

EXISTING ZONING: RB-1-14

PROPOSED ZONING: RL-3-1

GROSS SITE AREA: 4.45 ACRES (193,847 S.F.)

GROSS FLOOR AREA: 51,000 S.F.

FLOOR AREA RATIO: 0.27

EXISTING USE: CHURCH / SCHOOL

PROPOSED USE: CLINIC / COMMUNITY WELLNESS CENTER

SETBACKS	MINIMUM REQUIRED	STANDARD REQUIRED	PROPOSED
FRONT	10'-0" MIN.	20'-0"	26'-11"
SIDE	10'-0" MIN.	-	VARIES (10'-0" MIN.)
SIDE (STREET)	15'-0" MIN.	25'-0"	-
SIDE (ABUTTING RESIDENTIAL)	25'-0" MIN.	-	-
REAR	10'-0" MIN.	15'-0"	-
REAR (ABUTTING RESIDENTIAL)	25'-0" MIN.	-	28'-1" (EXISTING)

QUALIFYING CODES:

- THE 2001 EDITION OF THE CALIFORNIA BUILDING CODE (CBC) ADOPTS THE 1997 UNIFORM BUILDING CODE (UBC) AND THE 2001 CALIFORNIA AMENDMENTS.
- THE 2004 EDITION OF THE CALIFORNIA ELECTRICAL CODE (CEC) ADOPTS THE 2002 NATIONAL ELECTRICAL CODE (NEC) AND THE 2004 CALIFORNIA AMENDMENTS.
- THE 2001 EDITION OF THE CALIFORNIA MECHANICAL CODE (CMC) ADOPTS THE 2000 UNIFORM MECHANICAL CODE (UMC) AND THE 2001 CALIFORNIA AMENDMENTS.
- THE 2001 EDITION OF THE CALIFORNIA PLUMBING CODE (CPC) ADOPTS THE 2000 UNIFORM PLUMBING CODE (UPC) AND THE 2001 CALIFORNIA AMENDMENTS.
- THE 2005 EDITION OF THE CALIFORNIA ENERGY EFFICIENCY STANDARDS (T-24)

STRUCTURE	STORIES	OCCUPANCY GROUP	CONSTRUCTION TYPE	AREA BASIC ALLOWABLE	AREA INCREASE MULTI-STORY**	AREA INCREASE SEPARATION	AREA INCREASE SPRINKLERS*	AREA TOTAL ALLOWABLE	AREA TOTAL PROPOSED
COMMUNITY WELLNESS CENTER	1	B	TYPE V-N (SPRINKLERED)	8,000 S.F.	(2x)	16,000 S.F.	(2x)	32,000 S.F.	32,000 S.F.
CLINIC	2	B	TYPE V-N (SPRINKLERED)	8,000 S.F.	(2x)	16,000 S.F.	(2x)	32,000 S.F.	40,000 S.F.

* ALLOWABLE AREA INCREASES DETERMINED PER IBC SECTIONS 504.2, 505.1.2, 505.1.3, AND 505.2.
 ** THE EXISTING CHAPEL BUILDING HAS A MIXED OCCUPANCY CLASSIFICATION OF GROUPS (1)/A.1.2/RE. THE OCCUPANCY CLASSIFICATION IS PROPOSED TO BE CHANGED TO GROUP B WHEN THE STRUCTURE IS CONVERTED TO THE COMMUNITY WELLNESS CENTER.
 EXISTING CHAPEL CONSTRUCTED 1987.
 THE NAVE PORTION OF THE EXISTING CHAPEL IS TO BE RETAINED AS THE CENTERPIECE FOR THE PROPOSED COMMUNITY WELLNESS CENTER.

FIRE DEPARTMENT NOTES

1. FIRE PROTECTION, INCLUDING FIRE APPARATUS, ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION (CFC 901.2, 904.2, 904.6)
2. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC ARTICLE 07 (CFC 8701).
3. FIRE HYDRANTS SHALL COMPLY WITH FVPS F-00-1.
4. FIRE HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE MARKERS (CFC 901.4.5).
5. FIRE ACCESS ROADWAY SIGNS OR RED CURBS SHALL BE PROVIDED IN ACCORDANCE WITH FVPS POLICY A-00-1.
6. BUILDING ADDRESS NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FVPS POLICY F-00-6 (CFC 901.4.4).
7. EMERGENCY PLANS SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO OCCUPANCY (CFC 1503.4.2, CAL. CODE REGS. TITLE 19.009).
8. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE(S) (CFC 1001.4).

SHEET INDEX

1. TITLE SHEET
2. EXISTING CONDITIONS
3. PROPOSED SITE PLAN
4. GRADING PLAN
5. UTILITY PLAN
6. LANDSCAPE PLAN
7. LANDSCAPE CALCULATIONS AND AREA DETAILS
8. BRUSH MANAGEMENT PLAN
9. SITE SCHEDULE
10. CLINIC BUILDING FLOOR PLANS
11. CLINIC BUILDING ROOF PLAN
12. CLINIC BUILDING ELEVATIONS
13. COMMUNITY WELLNESS CENTER FLOOR AND ROOF PLANS
14. COMMUNITY WELLNESS CENTER ELEVATIONS
15. SITE DEVELOPMENT PERMIT EXHIBIT (ESL ANALYSIS)

PROJECT DIRECTORY

PRIMARY OWNER CONTACT: PALOMAR POMERADO HEALTH
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SAN DIEGO, CA 92128
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CONTACT: MICHAEL B. SHANAHAN, AA
DIRECTOR, FACILITIES, PLANNING AND DEVELOPMENT

CONSULTANTS:

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SAN DIEGO, CA 92101
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CONTACT: MR. JOSEPH MASCARI
MR. AARON WARNER

PLANNING: METROPLAN
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SAN DIEGO, CA 92101
(619) 225-9464
CONTACT: MR. RICHARD L. MILLER

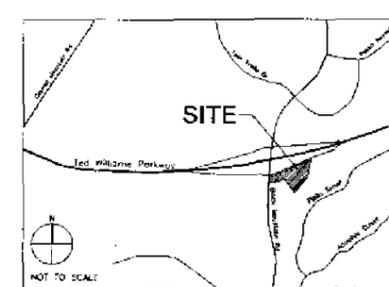
CIVIL ENGINEER: LATITUDE 33 PLANNING AND ENGINEERING
4933 PARADISE DRIVE, SECOND FLOOR
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(619) 521-0823
CONTACT: MR. JIM HULLGORE

LANDSCAPE ARCHITECT: HOWELL & ASSOCIATES
4010 COLLEEN STREET
SAN DIEGO, CA 92103
(619) 328-1690
CONTACT: MR. WALT HEDERMAN

ENVIRONMENTAL: PMS&L
3270 SPY HAWK COURT, SUITE 400
SAN DIEGO, CA 92121
(619) 574-1810
CONTACT: MRS. EMMA CATALANO

GEOTECHNICAL: URS CORPORATION
915 WILSHIRE BLVD., STE. 700
LOS ANGELES, CA 90017
(213) 550-2200
CONTACT: MR. CURTIS T. NAGATA, P.E.

VICINITY MAP



PREPARED BY:

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REVISION 8: _____
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 REVISION 6: _____
 REVISION 5: _____
 REVISION 4: _____
 REVISION 3: _____
 REVISION 2: 04-22-08
 REVISION 1: 01-15-08

ORIGINAL DATE: 04-27-07
 PRELIM REVIEW: 08-08-08

SHEET TITLE:
TITLE SHEET

SHEET NO. 1 OF 15

PTS# 128854
 PROJECT# 200631.10

ROUTE SR-56

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY OWNED BY THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 'A'

PARCEL 2 OF PARCEL MAP NO. 14569, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 4, 1996, EXCEPTING THEREFROM THAT PORTION GRANTED TO THE CITY OF SAN DIEGO BY DEED RECORDED SEPTEMBER 23, 1989 AS FILE NO. 89-065376 OF OFFICIAL RECORDS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHWESTERLY CORNER OF SAID PARCEL 2, BEING A POINT OF THE EASTERLY RIGHT OF WAY OF BLACK MOUNTAIN ROAD DESIGNATED BY RESOLUTION NO. 223222 RECORDED MAY 7, 1979 IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY AS FILE NO. 79-196223 OF OFFICIAL RECORDS;

THENCE ALONG THE NORTHERLY LINE OF SAID PARCEL 2 SOUTH 23°50'44" WEST A DISTANCE OF 6.825 METERS;

THENCE LEAVING SAID NORTHERLY LINE SOUTH 23°50'44" WEST A DISTANCE OF 4.473 METERS, THENCE SOUTH 04°52'28" WEST A DISTANCE OF 35.175 METERS TO THE SOUTHERLY LINE OF SAID PARCEL 2 BEING A POINT ON A RAMP EASMENT 17.150 METER BEARING SOUTH 03°43'50" WEST TO THE NORTH, A RADIAL LINE TO SAID POINT BEARS SOUTH 03°43'50" WEST, THENCE WESTERLY ALONG SAID SOUTHERLY LINE AND THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 02°58'59" A DISTANCE OF 4.747 METERS TO THE EASTERLY RIGHT OF WAY LINE OF SAID BLACK MOUNTAIN ROAD;

THENCE NORTH 05°06'50" EAST (BEARING ALONG 05°06'50" EAST) RADIAL TO SAID CURVE A DISTANCE OF 40.255 METERS TO THE POINT OF BEGINNING.

PARCEL 'B' STATEMENT

AN EASEMENT FOR THE PURPOSE OF PEDESTRIAN AND VEHICULAR ACCESS AND FOR ELECTRICAL, GAS, TELEPHONE, CABLE TELEVISION, WATER LINES, AND OTHER UTILITY LINES, CONDUITS, PIPES AND WORKS (INCLUDING THE RIGHT TO CONSTRUCT, RECONSTRUCT, MAINTAIN, OPERATE, REPAIR AND MAKE SAID ACCESS AND UTILITIES EXIST UNDER AND AMONG THAT PORTION OF LOT 1 OF PARK VILLAGE ESTATES UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP RECORDED UNDER NO. 12244, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 24, 1986, AS RESERVED BY DEED RECORDED APRIL 8, 1987 AS FILE NO. 87-104443 OF OFFICIAL RECORDS AND AS COMPLETED BY DEED RECORDED JULY 14, 1987 AS FILE NO. 87-104443 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

A STRIP OF LAND 20.00 FEET IN WIDTH, THE NORTHERLY LINE OF SAID STRIP BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF THE CENTERLINES OF PARKVIEW DRIVE AND BLACK MOUNTAIN ROAD AS SHOWN ON PARK VILLAGE ESTATES UNIT NO. 2 MAP NO. 12244, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 12, 1986;

THENCE SOUTH 84°00'00" EAST 48.00 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT BEING THE EASTERLY RIGHT OF WAY LINE OF BLACK MOUNTAIN ROAD AS DESIGNATED BY DEED RECORDED JULY 7, 1979 AS FILE NO. 79-196223 OF OFFICIAL RECORDS OF SAN DIEGO COUNTY AND BEING SOUTH 04°52'28" WEST AND A DISTANCE OF 15.00 FEET FROM THE NORTHWESTERLY CORNER OF LOT 1 OF SAID MAP NO. 12244, SAID POINT BEING ALSO THE BEGINNING OF A TANGENT 45.00 FOOT RADIAL CURVE CORNER NORTHERLY;

THENCE LEAVING SAID RIGHT OF WAY OF SAID BLACK MOUNTAIN ROAD EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 27°02'25" A DISTANCE OF 213.16 FEET;

THENCE NORTH 87°27'24" EAST 80.83 FEET TO A POINT OF BEGINNING ON A LINE THAT BEARS NORTH 87°00'00" WEST, THE SOUTHERLY LINE OF SAID STRIP SHALL BE EXTENDED TO TERMINATE ON THE ABOVE SAID LINE;

PARCEL 'C' STATEMENT

A NON-EXCLUSIVE EASEMENT FOR THE PURPOSE OF A BENEVOLENT OR LATERAL INTEREST, THE RIGHT TO CONSTRUCT, RECONSTRUCT, MAINTAIN, OPERATE AND REPAIR SUCH SEWER MAINS OF LATERAL AND ANY AND ALL APPURTENANCES THEREON, TOGETHER WITH THE RIGHT OF ACCESS AND EGRESS OVER UNDER, UNDER AND AMONG THAT PORTION OF LOT 1 OF PARK VILLAGE ESTATES UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP RECORDED UNDER NO. 12244, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 24, 1986, AS RESERVED BY DEED RECORDED APRIL 8, 1987 AS FILE NO. 87-104443 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF THE CENTERLINES OF PARKVIEW DRIVE AND BLACK MOUNTAIN ROAD AS SHOWN ON PARK VILLAGE ESTATES UNIT NO. 2 MAP NO. 12244, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 12, 1986;

THENCE SOUTH 84°00'00" EAST 48.00 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF BLACK MOUNTAIN ROAD AS DESIGNATED BY DEED RECORDED MAY 7, 1979 AS FILE NO. 79-196223 OF OFFICIAL RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, BEING SOUTH 03°43'50" WEST AND A DISTANCE OF 131.04 FEET FROM THE NORTHWESTERLY CORNER OF LOT 1 OF SAID MAP NO. 12244, SAID POINT BEING ALSO THE BEGINNING OF A TANGENT 45.00 FOOT RADIAL CURVE CORNER NORTHERLY;

THENCE LEAVING SAID RIGHT OF WAY OF SAID BLACK MOUNTAIN ROAD EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 27°02'25" A DISTANCE OF 213.16 FEET;

THENCE NORTH 87°27'24" EAST, 80.83 FEET TO A POINT ON A LINE THAT BEARS SOUTH 33°28'00" EAST;

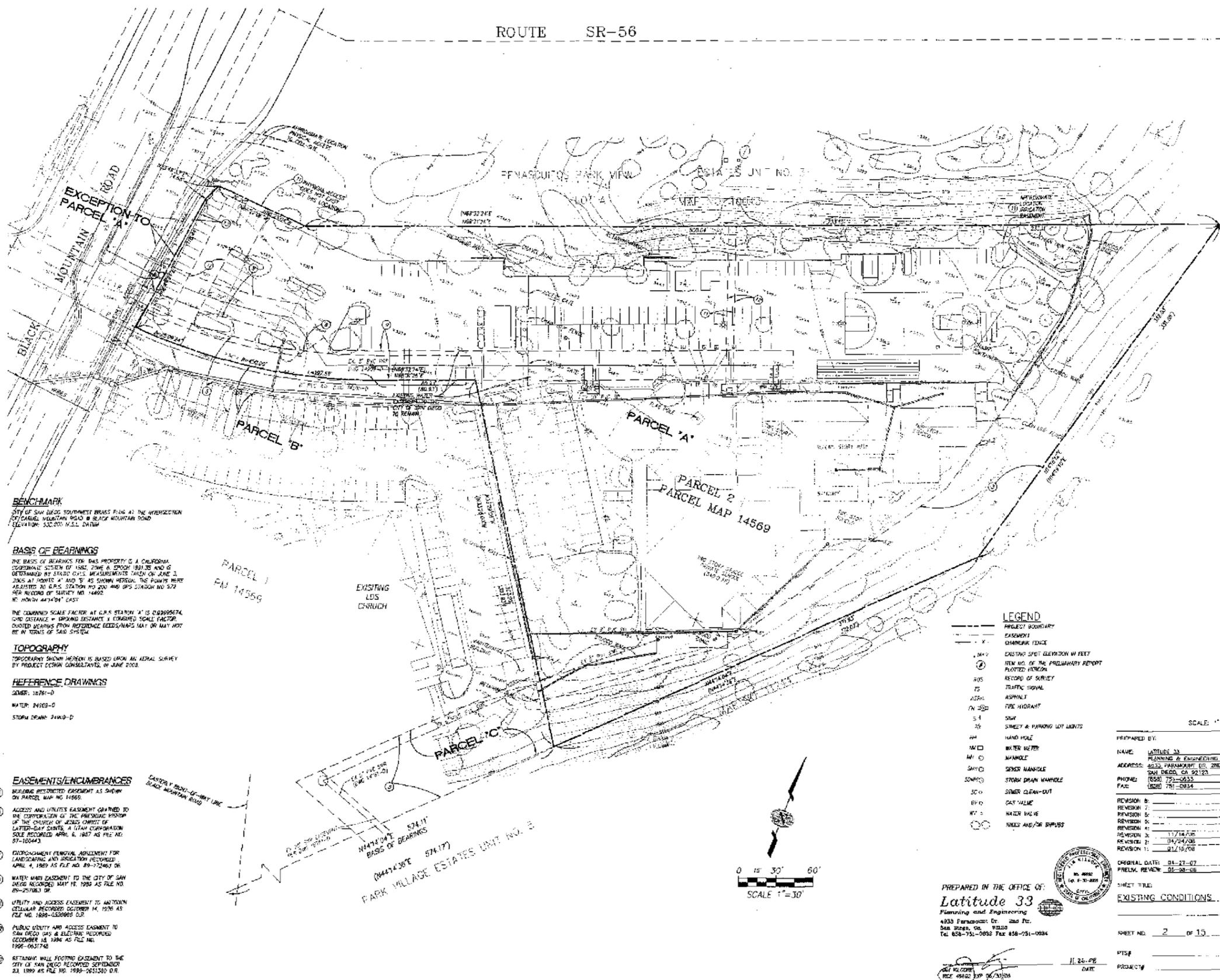
THENCE SOUTH 33°28'00" EAST, 243.49 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 33°28'00" EAST, 50.44 FEET TO THE SOUTHWESTERLY LINE OF LOT 1 OF SAID MAP NO. 12244;

THENCE SOUTHWESTERLY ALONG SAID LINE SOUTH 44°14'30" WEST, 161.06 FEET TO THE MOST NORTHWESTERLY CORNER OF LOT 304 OF SAID MAP NO. 12244;

THENCE LEAVING SAID LOT CORNER OF SAID LOT 304 AND SAID SOUTHWESTERLY LINE OF SAID LOT 1 ALONG THE EXTENSION OF THE NORTHERLY LINE OF SAID LOT 304 NORTH 70°26'36" WEST, 65.00 FEET TO A LINE THAT BEARS SOUTH 44°14'30" WEST FROM THE TRUE POINT OF BEGINNING;

THENCE NORTHWESTERLY ALONG SAID LINE NORTH 44°14'30" EAST, 151.877 FEET TO THE TRUE POINT OF BEGINNING.



BENCHMARK
 CITY OF SAN DIEGO, SOUTHWEST BRASS PILE AT THE INTERSECTION OF BLACK MOUNTAIN ROAD & BLACK MOUNTAIN ROAD
 ELEVATION: 322.200 M.S.L. DATUM

BASE OF BEARINGS
 THE BASES OF BEARINGS FOR THIS PROPERTY IS A CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, EPOCH 1983.30 AND IS DETERMINED BY STADIC GAUSS MEASUREMENTS TAKEN ON JUNE 3, 2005 AT POINTS 'A' AND 'B' AS SHOWN HEREON. THE POINTS WERE ADJUSTED TO GRS 83, STATION NO. 200 AND GPS STATION NO. 572 PER RECORD OF SURVEY NO. 14860, IN MONTH 04/2004 EAST.

THE COMBINED SCALE FACTOR AT GRS STATION 'A' IS 0.9999974, AND DISTANCE * SPREAD DISTANCE * COMBINED SCALE FACTOR. CHAINED BEARINGS FROM REFERENCE RECORDS/MAPS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.

TOPOGRAPHY
 TOPOGRAPHY SHOWN HEREON IS BASED UPON AN AERIAL SURVEY BY PROJECT DESIGN CONSULTANTS, IN JUNE 2008.

REFERENCE DRAWINGS
 GENERAL: 10761-D
 WATER: 14569-D
 STORM DRAIN: 14569-D

- EASEMENTS/ENCUMBRANCES**
1. BUILDING RESTRICTED EASEMENT AS SHOWN ON PARCEL MAP NO. 14569.
 2. ACCESS AND UTILITIES EASEMENT GRANTED TO THE CORPORATION OF THE PRECINCT HISTORY OF THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO LATER-DAY CHARTER, A UTILITY CORPORATION SOLE RECORDED APRIL 6, 1987 AS FILE NO. 87-100443.
 3. ENCUMBRANCE REMOVAL AGREEMENT FOR LANDSCAPING AND IRRIGATION RECORDED APRIL 4, 1989 AS FILE NO. 89-122465 OR.
 4. WATER MAIN EASEMENT TO THE CITY OF SAN DIEGO RECORDED MAY 19, 1998 AS FILE NO. 89-257083 OR.
 5. UTILITY AND ACCESS EASEMENT TO ANTECORN CELLULAR RECORDED OCTOBER 14, 1996 AS FILE NO. 96-052000 OR.
 6. PUBLIC UTILITY AND ACCESS EASEMENT TO SAN DIEGO GAS & ELECTRIC RECORDED OCTOBER 14, 1996 AS FILE NO. 96-052178 OR.
 7. RETAINING WALL FOOTING EASEMENT TO THE CITY OF SAN DIEGO RECORDED SEPTEMBER 23, 1989 AS FILE NO. 89-065376 OR.

LEGEND

---	PROJECT BOUNDARY
---	EASEMENT
---	BENCHMARK FEICE
○	EXISTING SPOT ELEVATION IN FEET
○	ITEM NO. OF THE PRELIMINARY REPORT
○	PLOTTED VECTOR
○	RECORD OF SURVEY
○	TRAFFIC SIGNAL
○	ASPHALT
○	FIRE HYDRANT
○	SWAY
○	STREET & PARKING LOT LIGHTS
○	HAND HOLE
○	WATER KEYS
○	MANHOLE
○	SEWER MANHOLE
○	STORM DRAIN MANHOLE
○	SEWER CLEAN-OUT
○	GAS VALVE
○	WATER VALVE
○	TREE AND/OR SHRUBS

SCALE: 1" = 30'-0"

PREPARED BY: _____

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 REVISION 4: _____
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 REVISION 6: _____

ORIGINAL DATE: 01-27-07
 PRELIM. REVIEW: 02-28-08

SHEET TITLE: _____
 EXISTING CONDITIONS: _____

SHEET NO. 2 OF 13

DATE: 11-26-08

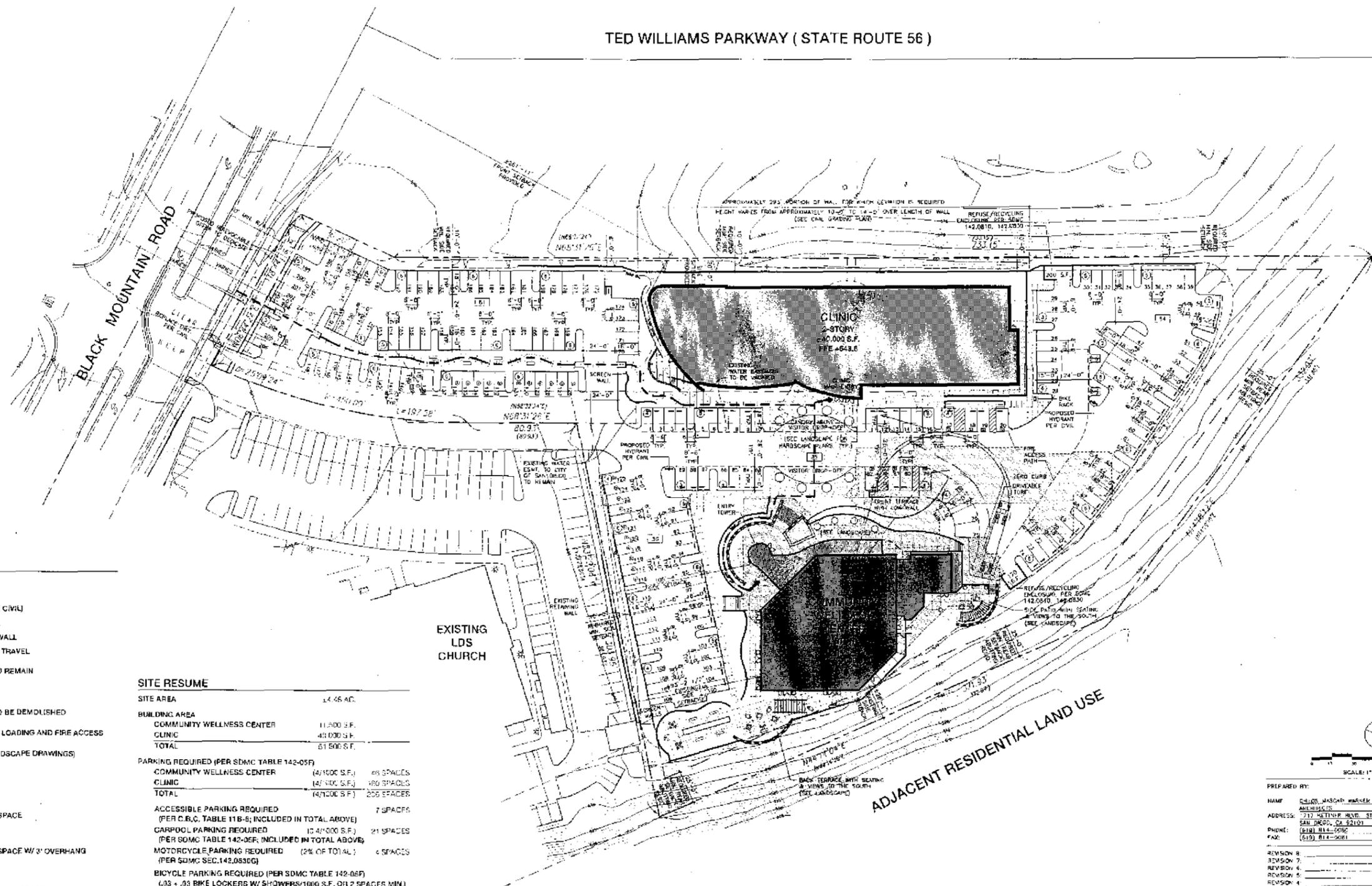
PREPARED IN THE OFFICE OF:
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CHILDS MASCARI WARNER
 Architects
 1717 Kettner Blvd., Suite 100
 San Diego, California 92101
 619.514.0080 Fax 619.514.0081

PALOMAR POMERADO HEALTH
 SPECIALIZING IN YOU

RANCHO PENASQUITOS CLINIC & COMMUNITY WELLNESS CENTER
 12558 BLACK MOUNTAIN ROAD
 SAN DIEGO, CALIFORNIA

TED WILLIAMS PARKWAY (STATE ROUTE 56)



GRAPHIC LEGEND

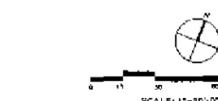
- PROPERTY LINE
- REQUIRED SETBACKS
- SITE EASEMENTS (SEE CIVIL)
- NEW RETAINING WALL
- EXISTING RETAINING WALL
- ACCESSIBLE PATH OF TRAVEL
- EXISTING BUILDING TO REMAIN
- PROPOSED BUILDING
- EXISTING BUILDING TO BE DEMOLISHED
- DRIVEABLE TURF FOR LOADING AND FIRE ACCESS
- HARDSCAPE (SEE LANDSCAPE DRAWINGS)
- FIRE ACCESS PATH
- PAINTED CROSSWALK
- STANDARD PARKING SPACE (8'-0" x 18'-0")
- STANDARD PARKING SPACE W/ 3' OVERHANG (8'-0" x 18'-0")
- VAN ACCESSIBLE PARKING SPACE (9'-0" x 18'-0" W/ 3'-0" LOADING AREA)
- ACCESSIBLE PARKING SPACE (9'-0" x 18'-0" W/ 3'-0" LOADING AREA)
- PARKING COUNT BY AREA
- PARKING COUNT BY ROW
- MOTORCYCLE PARKING COUNT BY ROW
- DESIGNATED CARPOOL PARKING

SITE RESUME

SITE AREA	14.45 AC.	
BUILDING AREA		
COMMUNITY WELLNESS CENTER	11,500 S.F.	
CLINIC	43,000 S.F.	
TOTAL	54,500 S.F.	
PARKING REQUIRED (PER SDMC TABLE 142-05F)		
COMMUNITY WELLNESS CENTER (4,100 S.F.)	66 SPACES	
CLINIC (42,400 S.F.)	160 SPACES	
TOTAL	226 SPACES	
ACCESSIBLE PARKING REQUIRED (PER C.B.C. TABLE 11B-6; INCLUDED IN TOTAL ABOVE)	7 SPACES	
CARPPOOL PARKING REQUIRED (10,400 S.F.) (PER SDMC TABLE 142-06F; INCLUDED IN TOTAL ABOVE)	21 SPACES	
MOTORCYCLE PARKING REQUIRED (2% OF TOTAL) (PER SDMC SEC. 142.0530G)	4 SPACES	
BICYCLE PARKING REQUIRED (PER SDMC TABLE 142-06F) (.03 + .03 BIKE LOCKERS W/ SHOWERS/1000 S.F. OR 2 SPACES MIN.)	2 SPACES PROVIDE IN EXTERIOR RACKS 2 BIKE LOCKERS W/ SHOWERS PROVIDED IN BUILDING(S)	
PARKING PROVIDED		
STANDARD SPACES (8'-0" x 18'-0" MIN.)	123 SPACES	
STANDARD SPACES (8'-0" x 15'-0" MIN. W/ 3' OVERHANG)	27 SPACES	
OVERSIZED SPACES (8'-6" x 18'-0")	48 SPACES	
ACCESSIBLE SPACES (8'-0" x 18'-0")	8 SPACES	
TOTAL	206 SPACES	
CARPPOOL PARKING (INCLUDED IN TOTAL ABOVE)	21 SPACES	
MOTORCYCLE PARKING	4 SPACES	
BICYCLE PARKING	2 SPACES PROVIDE IN EXTERIOR RACKS 2 BIKE LOCKERS W/ SHOWERS TO BE PROVIDED IN BUILDING(S)	

GENERAL NOTES

1. ALL PROPOSED REFUSE AND RECYCLABLES STORAGE AREAS SHALL CONFORM TO THE REQUIREMENTS OF SDMC SECTION 142.0510(C), FOR THE SCREENING OF MATERIAL STORAGE AREAS.
2. ALL PROPOSED SIGNS SHALL COMPLY WITH THE SIGN REGULATIONS OF THE SAN DIEGO MUNICIPAL CODE.
3. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, THE APPLICANT SHALL REPLACE THE EXISTING DRIVEWAY WITH CITY STANDARD DRIVEWAY, ON BLACK MOUNTAIN ROAD, PER STANDARD DRAWING G-14A, G-18 AND 502-100, SATISFACTORY TO THE CITY ENGINEER.



PREPARED BY: CHILDS, MASCARI, WARNER ARCHITECTS

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REVISION 2	
REVISION 1	

ORIGINAL DATE: 04-27-07
PRELIM REVIEW: 05-08-06

SHEET TITLE: PROPOSED SITE PLAN

SHEET NO. 3 OF 15

PTS: 128854

PROJECT: 200531.10

GENERAL NOTES

- TOTAL AREA WITHIN DEVELOPMENT IS 4.455 ACRES
- GAS AND ELECTRIC: SAN DIEGO GAS & ELECTRIC
- TELEPHONE: AT&T
- SEWER AND WATER: CITY OF SAN DIEGO
- DRAINAGE SYSTEM: PUBLIC STORM DRAINS: CITY OF SAN DIEGO/
PRIVATE STORM DRAINS: OWNER
- FIRE: CITY OF SAN DIEGO
- SCHOOL DISTRICT: SAN DIEGO SCHOOL DISTRICT/FOUNTAIN UNIFIED SCHOOL
- ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND

SOLAR ACCESS NOTE

THIS IS TO AFFIRM THAT THE DESIGN OF THIS SUBMISSION PROVIDES TO THE FUTURE FEASIBLE FOR FUTURE PASSIVE OR ACTIVE SOLAR HEATING AND COOLING OPPORTUNITIES IN ACCORDANCE WITH THE PROVISIONS OF SECTION 66073.1 OF THE STATE SUBDIVISION MAP ACT

LEGAL DESCRIPTION

PARCEL 2 OF PARCEL MAP NO. 14569 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA

ASSESSOR'S PARCEL NUMBERS

25-480-28

LAMBERT COORDINATES

288-1729

REFERENCE DRAWINGS

24699-0

GRADING NOTES

- TOTAL AMOUNT OF SITE TO BE GRADED: 3.4 AC
- TOTAL AREA 4.455 AC
- PERCENT OF TOTAL SITE GRADED: 76%
- AMOUNT OF SITE WITH STEEP SLOPES: 0.72 AC
- * AS DETERMINED BY THE CUL APPLICATION REQUIREMENTS
- PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 10%
- PERCENT OF THE EXISTING STEEP SLOPES PROPOSED TO BE GRADED: 5.5%
- AMOUNT OF CUT: 12,000 CYD
- AMOUNT OF FILL: 0 CYD
- AMOUNT OF EXPORT: 12,000 CYD
- MINIMUM HEIGHT OF FILL SLOPES: 1' AT 2:1
- MAXIMUM HEIGHT OF CUT SLOPES: 10' AT 3:1
- RETAINING WALL WALLS: MIN. MANT: 10'
TOTAL LENGTH: 1,400'
MAXIMUM HEIGHT: 15'

QUANTITIES ARE QUANTITIES, NO SWATHS AND BULKING INCLUDED

ENGINEERING NOTES

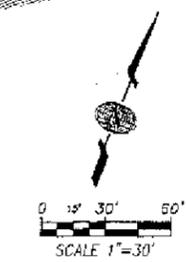
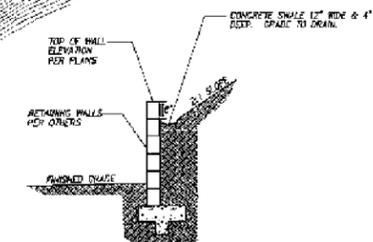
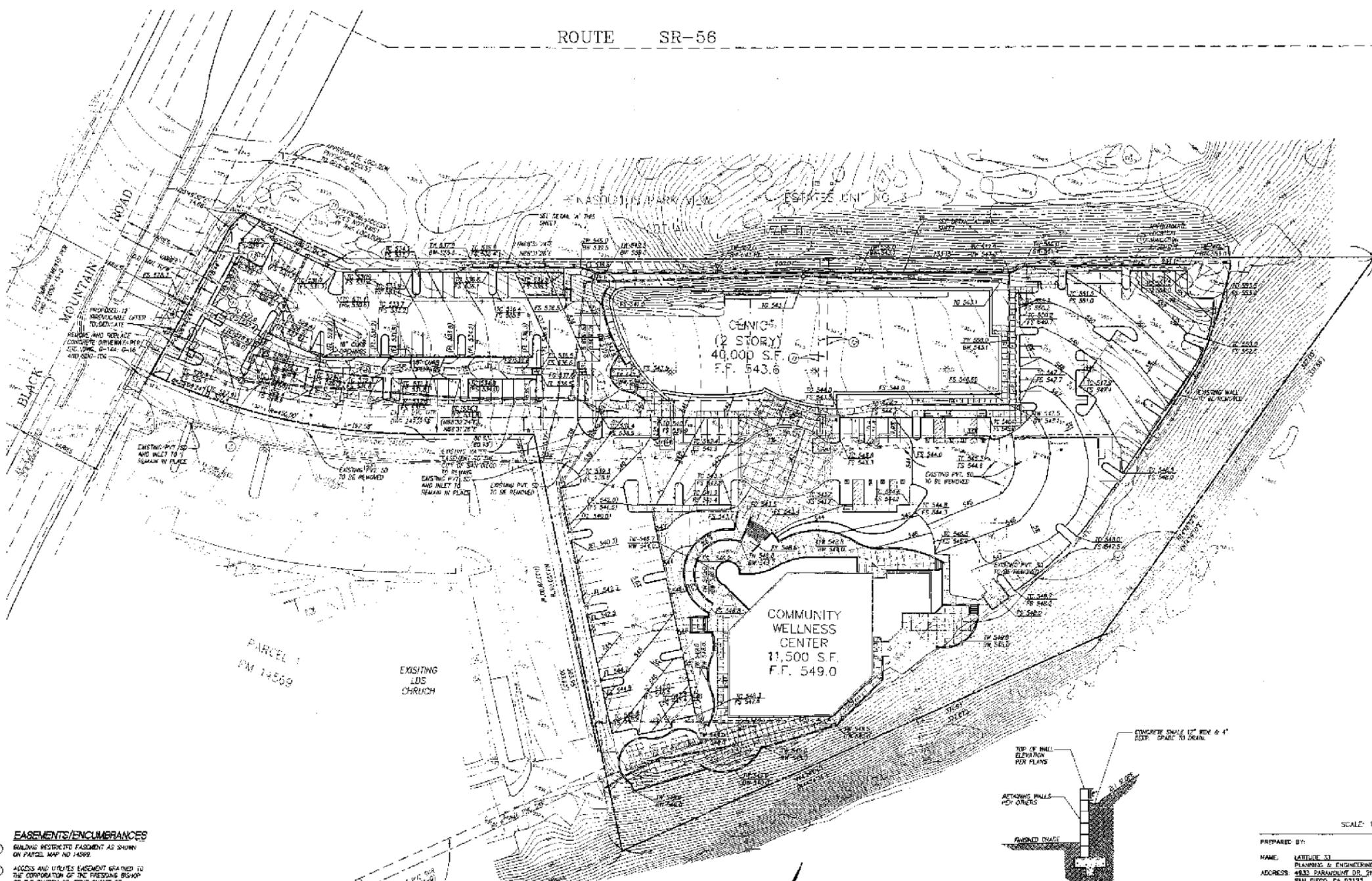
- BEFORE THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ON-GOING PERMANENT BMP MAINTENANCE TO THE SATISFACTION OF THE CITY ENGINEER
- BEFORE THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2 DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO CONSTRUCTION PLANS OR SPECIFICATIONS

LEGEND

- PROJECT BOUNDARY
- LASEMENT
- CHANGING FENCE
- EXISTING SPOT ELEVATION IN FEET
- ITEM NO. OF THE PRELIMINARY REPORT PLOTTED HEREON
- BOUNDARY OF SURVEY
- EX TRAFFIC SIGNAL
- EX ASPHALT
- EX FIRE HYDRANT
- EX SIGN
- EX STREET & PARKING LOT MARKS
- EX HAND HOLE
- EX WATER METER
- EX MANHOLE
- EX SEWER MANHOLE
- EX STORM DRAIN MANHOLE
- EX SEWER CLEAN-OUT
- EX GAS VALVE
- EX WATER VALVE
- BRESS AMBIT/TH SHROUD
- RETAINING WALL
- WATER METER
- FIRE HYDRANT (2-4" AND 1-1/2 COMMERCIAL)
- 1/4" STORM DRAIN CLEANOUT
- SEWER CLEANOUT
- AC PAVING AND CLASS 8 AGG. BASE
- 12" PVC PRIVATE STORM DRAIN (SDR 35)
- BRUSH BLOCK
- FOC/SDV
- ENG. CAP
- WATER WASH (SIZE PER PLAN)
- SEWER MAN (SIZE PER PLAN)
- DAYLIGHT LINE
- PROPOSED "BAT SHIVER" SEPARATION SYSTEM

EASEMENTS/ENCUMBRANCES

- BUILDING RESTRICTED EASEMENT AS SHOWN ON PARCEL MAP NO. 14569
- ACCESS AND UTILITIES EASEMENT GRANTED TO THE CORPORATION OF THE PRESIDENT BISHOP OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, A UTAH CORPORATION SOLE RECORDED APRIL 1, 1987 AS FILE NO. 83-130643
- ENCUMBRANCE RESTRICTION AGREEMENT FOR LANDSCAPING AND BROWDWAY ESTABLISHED JUNE 4, 1989 AS FILE NO. 89-179617 OR 89-257653 OR
- WATER MAIN EASEMENT TO THE CITY OF SAN DIEGO RECORDED MAY 16, 1989 AS FILE NO. 89-257653 OR
- UTILITY AND ACCESS EASEMENT TO ANTHONY CELLULAR RECORDED OCTOBER 14, 1986 AS FILE NO. 1986-020986 OR
- PUBLIC UTILITY AND ACCESS EASEMENT TO SAN DIEGO GAS & ELECTRIC RECORDED DECEMBER 18, 1986 AS FILE NO. 1986-020748
- RETAINING WALL FOOTING EASEMENT TO THE CITY OF SAN DIEGO RECORDED SEPTEMBER 23, 1989 AS FILE NO. 1989-020380 OR



REFERENCE DRAWINGS:
SEE CITY DWG 24308-C FOR EXISTING GRADING AND IMPROVEMENT PLANS.

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4833 PARANAMOUNT DR., 2ND FL.
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SCALE: 1"=30'-0"

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REVISION 6: _____
REVISION 5: _____
REVISION 4: _____
REVISION 3: 11/14/05
REVISION 2: 04/24/05
REVISION 1: 07/15/05

ORIGINAL DATE: 04-27-07
PRELIM REVIEW: CE-08-08

SHEET TITLE: GRADING PLAN
SHEET NO. 4 OF 15
DATE: 11-24-05
PROJECT:

CHILDS MASCARI WARNER
Architects
1717 Kettner Blvd., Suite 100
San Diego, California 92101
619.914.0080 Fax 619.814.0081

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RANCHO PENASQUITOS CLINIC & COMMUNITY WELLNESS CENTER
12558 BLACK MOUNTAIN ROAD
SAN DIEGO, CALIFORNIA

NUMBER 25-28000-01-002 OF 734499 6/17/2009 10:52:44 AM PST

Plant Material Legend

Plant sizes are indicated for general reference by height x width.

- STREET TREES**
24" box size
Koeberlinia bipinnata - Chinese Flame Tree, 20' h x 20' w, deciduous broad canopy
- DRIVE AISLE CANOPY TREES**
36" box size
Tromas cordata - Bluevine Box, 47' h x 25' w, evergreen broadleaf canopy
Geijera parviflora - Australian Willow, 25' h x 25' w, semi-evergreen
- PARKING LOT ISLANDS TREES**
36" box size
Koeberlinia bipinnata - Chinese Flame Tree, 20' h x 20' w, deciduous broad canopy
Tambouli impatiens - Pink Trumpet Tree, 25' h x 25' w, semi-evergreen
- SMALL FLOWERING COURTYARD TREES**
36" box size
Jacaranda indica - Grape Myrtle, 25' h x 25' w, deciduous tree
Banksia a blairiana - Orchid Tree, 25' h x 20' w, semi-evergreen, umbrella-like canopy
- DATE PALM GROVE**
18" BT
Phoenix caryota - Medool - Medool Date Palm
- BRUSH MANAGEMENT TREES**
Refer to Brush Management Area requirements as detailed on sheet 8
- MEDITATION GARDEN**
15 Gallon
Aucuba nitida - Strawberry Tree, 37" h x 25" w, evergreen canopy tree
Araucaria arborescens - Kauri Alder, 30" h x 25" w, deciduous canopy tree
- CLINIC NORTH SIDE**
Banksia a blairiana - Orchid Tree - Green Shrub Bamboo, 10-25' h, clumping
Delonix regia - Moringa Grass
- PARKING LOT ISLAND SHRUBS**
75% 1 gallon @ 36" o.c., 25% 5 gallon @ 24" o.c.
Carissa m. coccinea - Natal Plum, 3-4' h x 3-5' w
Eucalyptus japonicus macrophylla - Dwarf Japanese Eucalyptus, 2' h x 2' w
Rhopilete indicum - Dwarf Yucca Hedge, 3' h x 3' w
- COURTYARD GARDEN SHRUBS**
60% 1 gallon @ 18" o.c., 40% 5 gallon @ 24" o.c.
Agapanthus africanus - Lily of the Nile planted 18" o.c.
Dianella exilis - Forsythia Lily 18" h, planted 18" o.c.
Hemerocallis sp. - Daylily, 18" h, planted 18" o.c.
Lonicera sargentiana - Lonicera, 3' h x 3' w
Muscadinia rotundifolia - Evergreen Medea Grass, 3' h x 3' w
Muhlenbergia frutescens - Cordon Red Grass, 3' h x 3' w
Phormium tenax - Tropicana - New Zealand Flax, medium stems 38" o.c.
Pithecolobium caeruleum - Dwarf Kauri, 2' h x 3' w
Rhopilete indicum - Dwarf Yucca Hedge, 3' h x 3' w
- GROUND COVERS**
70% 1 gallon @ 18" o.c., 30% 5 gallon @ 24" o.c.
Baccharis pilularis - Dwarf Coyote Bush, 2' x 3'
Festuca ovina glauca - Blue Fescue 8" x 8"
Liriodendron - Spreading Sunflower, 2' x 3'
Dianella sp., 2' x 3'
Delonix regia - Moringa Grass, 2' x 3'
Mycoporum parvifolium, 3-4' h x 3' w
- EXISTING SLOPE PLANTING TO REMAIN**
- HEDGES AND ACCENTS SHRUBS**
Carissa m. coccinea - Natal Plum, 3-4' h x 3-5' w
Eucalyptus japonicus macrophylla - Dwarf Japanese Eucalyptus, 2' h x 3' w
Rhopilete indicum - Dwarf Yucca Hedge, 3' h x 3' w
Phormium tenax - Tropicana - New Zealand Flax, 4' h x 3' w
Pithecolobium caeruleum - Dwarf Kauri, 2' h x 3' w
Rhopilete indicum - Dwarf Yucca Hedge, 3' h x 3' w
- BRUSH MANAGEMENT ZONE 1**
See Sheet 8 for Brush Management plant lists
- BRUSH MANAGEMENT ZONE 2**
See Sheet 8 for Brush Management plant lists
- VINES**
VINE POCKETS AT TRELLIS STRUCTURE:
6 gallon
Bougainvillea 'San Diego Red' - San Diego Bougainvillea
- VINES AT RETAINING WALL NORTH SIDE OF CLINIC**
5 gallon
Pithecolobium caeruleum - Dwarf Kauri
- LAWN**
Machicao 2' Tall Fescue Sod
- DRIVEABLE TURF BLOCK**

EXISTING TREE LEGEND

NUMBER	TREE NAME	HEIGHT	WIDTH	CALIPER	ACTION
1	OLIVE	18'	10'	6"	REMOVE
2	CARROTWOOD	18'	8'	8"	REMOVE
3	CARROTWOOD	18'	8'	8"	REMOVE
4	CARROTWOOD	12'	6'	6"	REMOVE
6	CARROTWOOD	12'	6'	6"	REMOVE
8	CARROTWOOD	12'	6'	6"	REMOVE
7	CARROTWOOD	10'	6'	5"	REMOVE
8	CARROTWOOD	14'	8'	5"	REMOVE
9	CARROTWOOD	17'	8'	5"	REMOVE
10	CARROTWOOD	14'	8'	8"	REMOVE
11	CARROTWOOD	10'	7'	7"	REMOVE
12	CARROTWOOD	14'	8'	8"	REMOVE
13	EUCALYPTUS	30'	18'	12"	REMOVE
14	CARROTWOOD	12'	6'	8"	REMOVE
15	EUCALYPTUS	30'	15'	7"	REMOVE
16	EUCALYPTUS	30'	15'	6"	REMOVE
17	EUCALYPTUS	30'	15'	6"	REMOVE
18	EUCALYPTUS	30'	15'	6"	REMOVE
19	EUCALYPTUS	30'	15'	6"	REMOVE
20	EUCALYPTUS	30'	15'	6"	REMOVE
21	CARROTWOOD	10'	5'	8"	REMOVE
22	CARROTWOOD	10'	4'	6"	REMOVE
23	CARROTWOOD	15'	8'	6"	REMOVE
24	CARROTWOOD	18'	12'	7"	REMOVE
25	CARROTWOOD	18'	12'	12"	REMOVE
26	CARROTWOOD	22'	20'	14"	REMOVE
27	EUCALYPTUS	40'	15'	11"	REMOVE
28	EUCALYPTUS	45'	15'	11"	REMOVE
29	EUCALYPTUS	40'	15'	10"	REMOVE
30	EUCALYPTUS	47'	15'	8"	REMOVE
31	EUCALYPTUS	25'	8'	5"	REMOVE

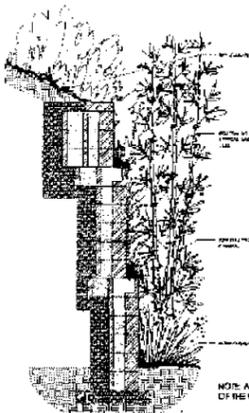
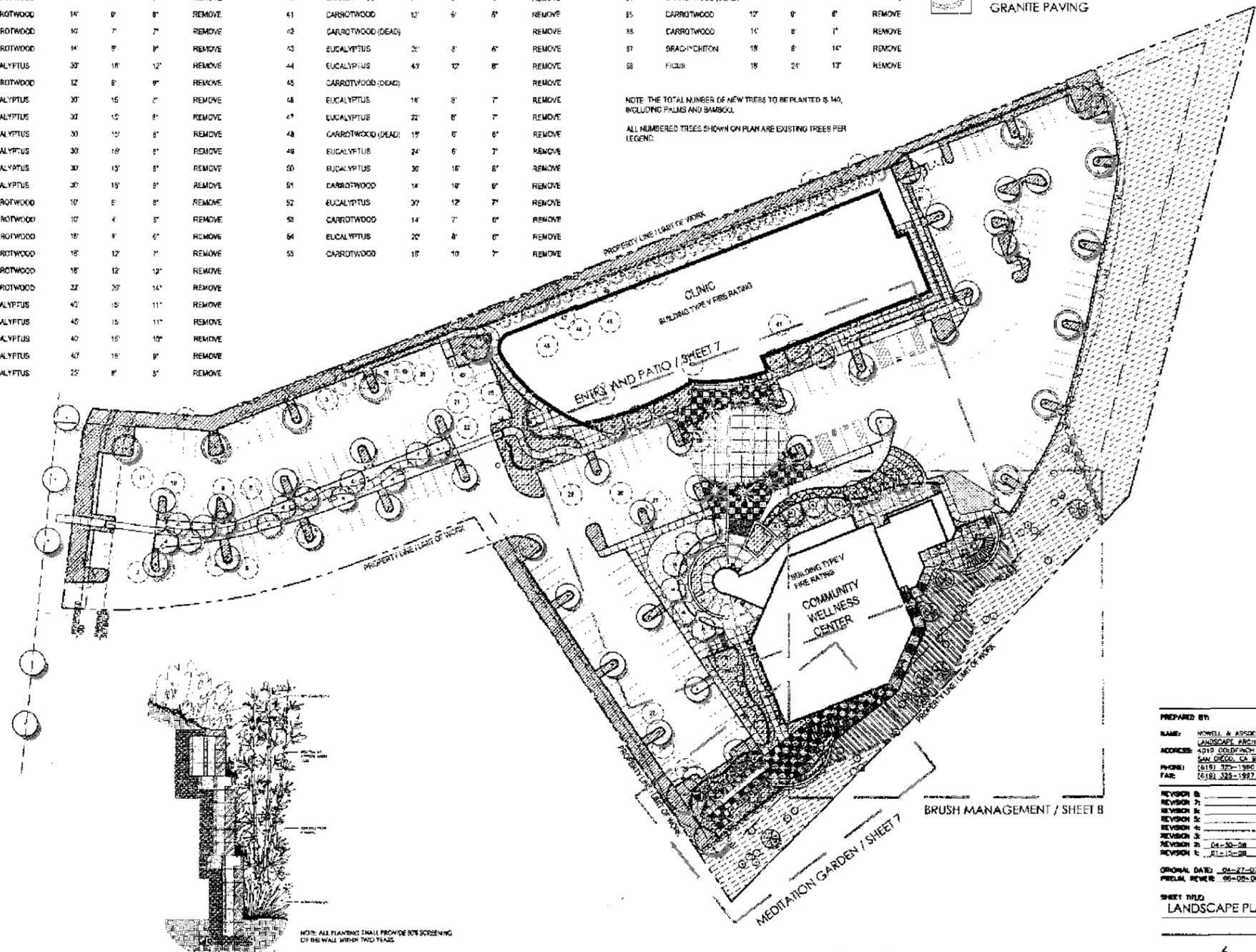
NUMBER	TREE NAME	HEIGHT	WIDTH	CALIPER	ACTION
32	EUCALYPTUS	45'	20'	12"	REMOVE
33	PURPLE LEAF PLUM	20'	10'	6"	REMOVE
34	PURPLE LEAF PLUM	10'	5'	3"	REMOVE
35	SOUTHERN MAGNOLIA	15'	8'	6"	REMOVE
36	FIGUS	25'	25'	12"	REMOVE
37	FIGUS	25'	25'	12"	REMOVE
38	FIGUS	25'	25'	12"	REMOVE
39	CARROTWOOD	14'	5'	4"	REMOVE
40	CARROTWOOD	14'	5'	4"	REMOVE
41	CARROTWOOD	12'	6'	8"	REMOVE
42	CARROTWOOD (DEAD)				REMOVE
43	EUCALYPTUS	25'	8'	6"	REMOVE
44	EUCALYPTUS	43'	12'	8"	REMOVE
45	CARROTWOOD (DEAD)				REMOVE
46	EUCALYPTUS	16'	8'	7"	REMOVE
47	EUCALYPTUS	22'	8'	7"	REMOVE
48	CARROTWOOD (DEAD)	15'	6'	6"	REMOVE
49	EUCALYPTUS	24'	6'	7"	REMOVE
50	EUCALYPTUS	30'	16'	8"	REMOVE
51	CARROTWOOD	14'	10'	6"	REMOVE
52	EUCALYPTUS	37'	12'	7"	REMOVE
53	CARROTWOOD	14'	7'	8"	REMOVE
54	EUCALYPTUS	22'	8'	6"	REMOVE
55	CARROTWOOD	18'	10'	7"	REMOVE

NUMBER	TREE NAME	HEIGHT	WIDTH	CALIPER	ACTION
56	EUCALYPTUS	18'	8'	6"	REMOVE
57	EUCALYPTUS	18'	8'	6"	REMOVE
58	EUCALYPTUS	30'	7'	5"	REMOVE
59	EUCALYPTUS	30'	12'	6"	REMOVE
60	CARROTWOOD	12'	5'	6"	REMOVE
61	CARROTWOOD	12'	6'	6"	REMOVE
62	EUCALYPTUS	28'	6'	7"	REMOVE
63	CARROTWOOD	24'	12'	9"	REMOVE
64	CARROTWOOD (DEAD)				REMOVE
65	CARROTWOOD	12'	8'	8"	REMOVE
66	CARROTWOOD	14'	8'	7"	REMOVE
67	BRACHYDICTON	18'	8'	14"	REMOVE
68	FIGUS	18'	24'	13"	REMOVE

Surface Finish Legend

- NATURAL GREY CONCRETE
- LIGHT SANDBLAST
- MEDIUM SANDBLAST
- DARK INTEGRAL COLOR CONCRETE BAND
- POLYMER-STABILIZED DECOMPOSED GRANITE PAVING

NOTE: THE TOTAL NUMBER OF NEW TREES TO BE PLANTED IS 140, INCLUDING PALMS AND BAMBOO.
ALL NUMBERED TREES SHOWN ON PLAN ARE EXISTING TREES PER LEGEND.



NOTE: ALL PLANTING SHALL PROVIDE 80% SCREENING OF THE WALL WITHIN TWO YEARS.

Wall Planting - 6' or Higher Typ.
3/4" x 1'-0"

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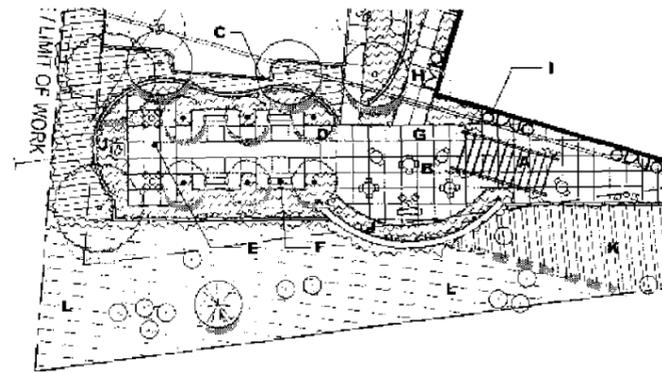
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PREDIAL REVIEW: 05-08-08

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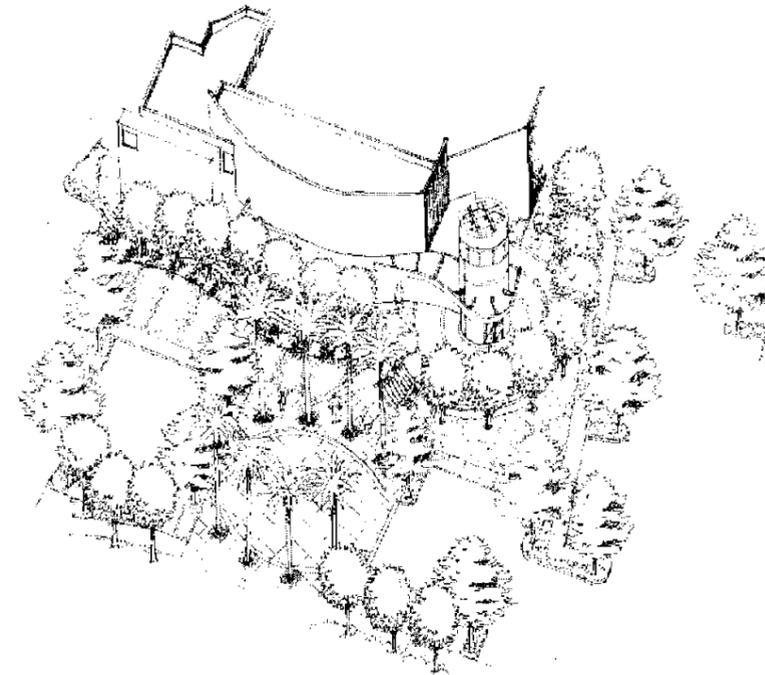
PROJECT: RANCHO PENASQUITOS CLINIC & COMMUNITY WELLNESS CENTER

Plan Key

- A** Stainless steel trellis w/ powder coat finish w/ climbing Bougainvillea vine. Color to be determined by tenants.
- B** Tables with moveable chairs - type and quantity to be determined by tenants
- C** 36" high wall (Finish and type to be determined)
- D** Water feature: 6' w x 60' l linear pool
- E** Area for sculptural element or memorial
- F** Seating: 8' long backed benches - type to be determined by tenant(s)
- G** Integral color concrete mixture of light sand blast and medium sandblast
- H** Natural grey concrete
- I** Pots: Precast concrete pots, typ.
- J** Planting area, typ.
- K** Brush Management Zone I 35' setback from structure
- L** Existing native vegetation to be thinned per Brush Management Zone II requirements & 65' setback from Zone I.
- M** Rolling lawn with soft grasses and shrubs
- N** Cascading water feature on a recirculating pump system
- O** Dark integral color band, typ.
- P** Accessible ramp with handrails
- Q** Driveable turf

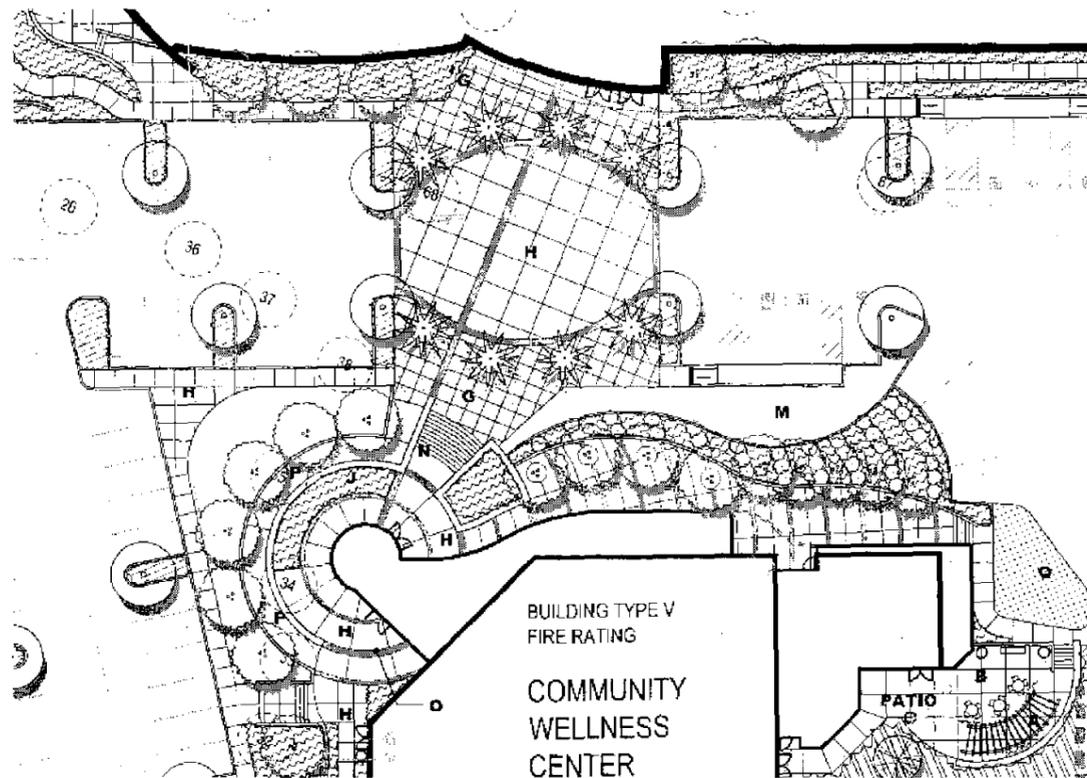


Meditation Garden
1/4" = 1'-0"

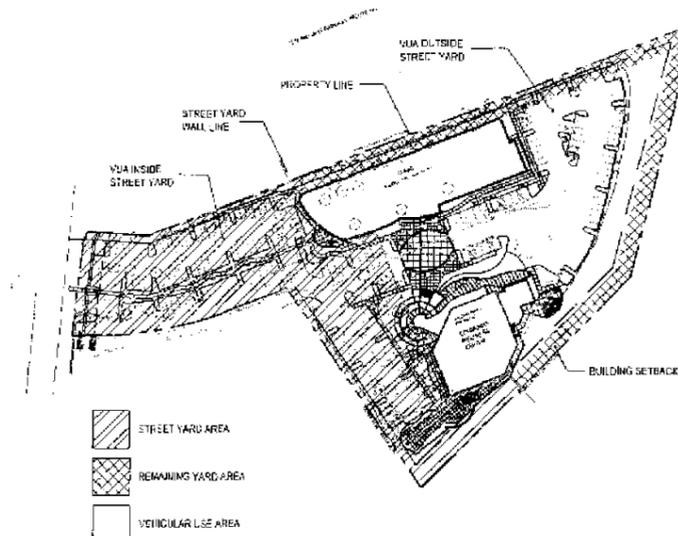


Site Area Axonometric Section
(Front View - North East)

NOTE: THIS DRAWING IS INTENDED TO ILLUSTRATE DESIGN CHARACTER AND SPATIAL QUALITY



Entry and Patio Layout
1/16" = 1'-0"



Landscape Calculations
Scale 1" = 20'-0"

LANDSCAPE AREA CALCULATIONS

Sheet Yard Area: 72,930 s.f.
Planting Area Required: 16,483 s.f.
Provided: 31,300 s.f.
Excess Area Provided: 14,817 s.f.
Planting Points Required: 3,697
Provided: 4,324
Excess Points Provided: 627
Points Provided by Trees: 5140

Vehicular Use Area (outside sheet yard)
Total Area: 37,570 s.f.
Planting Area Required: 1,755 s.f.
Provided: 6,395 s.f.
Excess Area Provided: 4,640 s.f.
Planting Points Required: 1,125
Provided: 3,550
Excess Points Provided: 2,425
Points Provided by Trees: 892

Vehicular Use Area (inside sheet yard)
Total Area: 47,310 s.f.
Planting Area Required: 2,351 s.f.
Provided: 7,140 s.f.
Excess Area Provided: 4,789 s.f.
Planting Points Required: 2,381
Provided: 3,420
Excess Points Provided: 1,039
Points Provided by Trees: 1770

Remaining Yard Area: 20,950 s.f.
Planting Area Required: 6,144 s.f.
Provided: 19,574 s.f.
Excess Area Provided: 13,430 s.f.
Planting Points Required: 1,024
Provided: 3,140
Excess Points Provided: 2,116
Points Provided by Trees: 770

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REVISION O: _____
REVISION P: _____
REVISION Q: _____

ORIGINAL DATE: 01-21-07
PRELIM REVIEW: 06-08-08
SHEET TITLE:
LANDSCAPE CALCULATIONS
AND AREA DETAILS

SHEET NO. 7 OF 15

PTM
PROJECT#

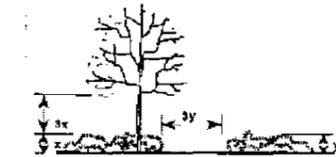
BRUSH MANAGEMENT and SLOPE REVEGETATION NOTES

The project will comply with the following requirements of the San Diego Municipal Code Land Development Code:

3-2 BRUSH MANAGEMENT - REQUIREMENTS

- 3-2.1 Basic Requirements - All Zones
- 3-2.1.01 For bare lawns, plants shall not be cut below 6 inches.
- 3-2.1.02 Debris and trimmings produced by clearing and pruning shall be removed from the site or it shall be covered into mulch by a churning machine and evenly dispersed, non-irrigated, to a maximum depth of 6 inches.
- 3-2.1.03 Trees and large trees shall be (e.g., Oaks, Sycamores, Toyons) which are being retained shall be pruned to a crown clearance of three times the height of the upper story plant material or six feet whichever is higher (Figure 3-1). Dead and excessively heavy growth shall also be removed.

FIGURE 3-1

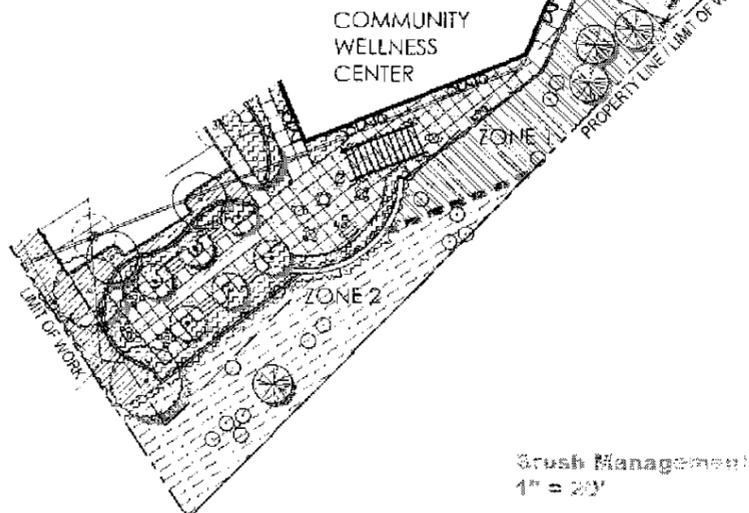
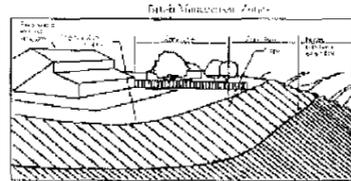


PRUNING TREES TO PROVIDE CLEARANCE FOR BRUSH MANAGEMENT

- 3-2.1.04 All plants or plant groupings except trees, succulents, lianas and treecreepers shall be trimmed to a maximum height of three times the height of the upper story plant material (Figure 3-1).
- 3-2.1.05 Maximum coverage and area limitations of stakes shall not apply to indigenous native tree species (e.g., Pinus, Quercus, Palms, Sals and Popples).
- 3-2.2 Zone 1 Requirements - All Structures
- 3-2.2.01 Do not use, and remove if necessary, non-removable chain link fences (see Appendix "B").
- 3-2.2.02 Trees shall not be located any closer to a structure than a distance equal to the tree's mature spread.
- 3-2.2.03 Maintain all plantings in a succulent condition.
- 3-2.2.04 Non-irrigated plant groupings over 60 inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 20 percent of the total Zone 1 area.
- 3-2.3 Zone 2 Requirements - All Structures
- 3-2.3.01 1 foot of non-irrigated plant groupings over 18 inches in height may be retained provided they do not exceed 600 square feet in area and their combined coverage does not exceed 20 percent of the total Zone 2 area.

BRUSH MANAGEMENT ZONES

As defined by Chapter 147-040 of the San Diego Municipal Code Chapter 14.



4.1 PERMANENT REVEGETATION

4.1.1 Revegetation Adjacent to Native Vegetation

Revegetation of man-made slopes and other disturbed areas adjacent to areas of native vegetation shall be accomplished in a manner that is visually and ecologically compatible with the indigenous native plant materials. The following guidelines are in addition to the guidelines and criteria for slope revegetation and brush management. Further restrictions may apply to riparian stream areas such as: Riparian Corridor and Riparian Corridor. Further restrictions may apply to riparian stream areas such as: Riparian Corridor and Riparian Corridor. Further restrictions may apply to riparian stream areas such as: Riparian Corridor and Riparian Corridor.

- 4.1.1.01 The plant palette for transitional landscapes shall typically consist of a combination of topographic and compatible native and non-native species.
- 4.1.1.02 The mix of native and non-native plant materials should generally vary. Areas contiguous to existing native vegetation shall be planted with native materials exclusively.
- 4.1.1.03 Invasive (i.e., more readily capable of reproducing and spreading) non-native non-irrigated grasses/non-native plant species including but not limited to those listed in Table 1 are prohibited in all transitional landscapes.
- 4.1.1.04 Invasive weeds and noxious plants (e.g., Stargrass) that occur in transitional areas shall be promptly removed.
- 4.1.1.05 Permanent riparian areas prohibited in the portions of transitional areas (except lawns) contiguous to the existing native vegetation.
- 4.1.1.06 Required mulching and hydroseeding as specified in the landscape regulations shall follow the guidelines in Sections 4.3 and 4.4 of the Landscape Standards.
- 4.1.1.07 Required slope revegetation shall follow the guidelines in Section 4.2 of the Landscape Standards.
- 4.1.2 General Revegetation
- 4.1.2.01 Revegetation on man-made slopes and other disturbed areas that are not adjacent to native vegetation shall be accomplished to provide a thick soil cover that slows erosion.
- 4.1.2.02 Required mulching and hydroseeding as specified in the landscape regulations shall follow the guidelines in Sections 4.3 and 4.4 of the Landscape Standards.
- 4.1.2.03 Required slope revegetation shall follow the guidelines in Section 4.2 of the Landscape Standards.

4.2 SLOPE REVEGETATION GUIDELINES

These guidelines establish the acceptable standards for the design and installation of slope revegetation.

- 4.2.1 Requirements for revegetation may be waived by the City Manager where soil erosion is not expected to occur due to the rocky character of where the slopes are protected against erosion and instability by the stabilization of the City Engineer.
- 4.2.2 A minimum of 50 percent of the total slope area shall be planted with deep-rooting grasses/forbs (i.e., those with a root depth of 18" or greater). For seeded plantings, at least 20 percent of the wide area covered by the seeding species.
- 4.2.3 All plant materials shall be appropriate to the site conditions, water conserving and appropriately spaced to control soil erosion.

4.3 MULCHING PROCEDURES

The following procedures will be followed when mulching is required by the landscape regulations or when proposed by the applicant.

- 4.3.1 Job sheets and other approved geotechnical materials shall be included and secured per manufacturer's specifications and to be placed in a manner providing a minimum of 18" below the installed surface.
- 4.3.2 Straw Stabilization
- 4.3.2.1 Straw shall be uniformly applied at the rate of 2 to 3 tons per acre.
- 4.3.2.2 Straw on steep slopes shall be "tied" with timber at a maximum rate of 100 pounds per acre. The straw shall be an organic derivative of processed organic residue.
- 4.3.2.3 Straw on all hill slopes shall be incorporated into the soil with a blower or other method so that the straw will not support a compressor or blow away and become a fire hazard.
- 4.3.3 Wood Products
- 4.3.3.1 Shredded wood products shall be uniformly spread to a minimum depth of two inches. When used in conjunction with hydroseeding, mulch shall be applied at the rate of 100 lbs per acre.

4.4 HYDROSEEDING PROCEDURES

- 4.4.1 Seed mixes shall be specified by the public works department.
- 4.4.2 Top mulch shall be applied at a minimum rate of 2,000 pounds per acre except when certain top mulch shall be applied when rainfall is applied at a minimum rate of 400 pounds per acre.
- 4.4.3 A waiting agent consisting of 5% permanent dye shall be used and shall be applied as per manufacturer's recommendations.
- 4.4.4 Equipment used for the application of slurry shall have a built-in irrigation system to ensure and homogenize slurry in the slurry. The slurry shall be dried green. The equipment must have a pump capable of applying slurry uniformly.

BRUSH MANAGEMENT ZONE AND HILLSIDE TRANSITION PLANTINGS

- Zone 1 (35' in top-of-slope)**
 - Trees:
 - Juglans californica (California Black Walnut) 18' girth
 - Platanus racemosa (California sycamore) 24" dia
 - Low Ornamental Shrubs and Groundcovers:
 - Plantings of less than 60" and no fire-prone plants shall be: 25% 5 gallon @ 45" or center 20% groundcover (Yucca filifera at 18" or center)
 - Baccharis pilularis (Rosita) (Rosita) (Rosita) 2' x 4'
 - Cordia al. californica (Petal Plum) 24" x 30"
 - Ceanothus 'Lowland' (Lowland) (Hybrid) 2' x 8'
 - Eucalyptus albertiana (Green Syc) (Green Syc) (Green Syc) 5' x 8'
 - Eucalyptus L. Microphylla (Variegata) (Variegated) (Local) (Hybrid) 2' x 7'
 - Fraxinus californica (Ornamental) (Ornamental) 8' x 12'
 - Lantana cultivars (Lantana) 2' x 4' x 8'
 - Lonicera Silver Dragon (Variegated) (Sage) 2' x 12'
 - Mussaenda (Hybrid) (Hybrid) (Hybrid) 2' x 12'
 - Platanus californica (Local) (Local) (Local) 2' x 7'
 - Quercus agrifolia (Coast Live Oak) 2' x 4'
 - Rhododendron (Local) (Local) (Local) 2' x 4'
 - Trochodendron (Local) (Local) (Local) 2' x 4'
- Zone 2 (65' to property line)**
 - Low Ornamental Shrubs and Groundcovers:
 - Plantings of less than 60" and no fire-prone plants shall be: 25% 5 gallon @ 45" or center 20% groundcover (Yucca filifera at 18" or center)
 - Baccharis pilularis (Rosita) (Rosita) (Rosita) 2' x 4'
 - Cordia al. californica (Petal Plum) 24" x 30"
 - Ceanothus 'Lowland' (Lowland) (Hybrid) 2' x 8'
 - Eucalyptus albertiana (Green Syc) (Green Syc) (Green Syc) 5' x 8'
 - Eucalyptus L. Microphylla (Variegata) (Variegated) (Local) (Hybrid) 2' x 7'
 - Fraxinus californica (Ornamental) (Ornamental) 8' x 12'
 - Lantana cultivars (Lantana) 2' x 4' x 8'
 - Lonicera Silver Dragon (Variegated) (Sage) 2' x 12'
 - Mussaenda (Hybrid) (Hybrid) (Hybrid) 2' x 12'
 - Platanus californica (Local) (Local) (Local) 2' x 7'
 - Quercus agrifolia (Coast Live Oak) 2' x 4'
 - Rhododendron (Local) (Local) (Local) 2' x 4'
 - Trochodendron (Local) (Local) (Local) 2' x 4'
 - Trees:
 - Quercus agrifolia (Coast Live Oak) 10 gallon
 - Platanus racemosa (California sycamore) 24" dia
 - Shrubs:
 - 1 Gallon:
 - Acacia saligna (Peach Cappel)
 - Baccharis pilularis (Rosita)
 - Ceanothus americanus (Scarlet) (Scarlet) 5' x 8'
 - Eucalyptus albertiana (Green Syc) (Green Syc) 2' x 8'
 - Fraxinus californica
 - Halimolobos orbiculata (Tejon)
 - Isa bayoniana (Piney Wood)

4.5 MAINTENANCE REQUIREMENTS

- 4.5.1 Permanently irrigated slopes shall be maintained for a period of not less than 90 days.
- 4.5.2 Non-permanently irrigated areas shall be maintained for a period of not less than 25 months.
- 4.5.3 All revegetated areas shall be maintained by the Fire utilities until final approval by the City Manager. The maintenance period begins on the first day following acceptance and may be extended at the discretion of the City Manager.
- 4.5.4 Prior to final approval, the City Manager may require corrective action including but not limited to: regrading, the provision of irrigation systems, and the repair of any soil erosion on slope slopes.

ADDITIONAL BRUSH MANAGEMENT NOTES

- Zone One Requirements**
 - The required Zone One width shall be provided between permitted vegetation and any structure and shall be measured from the exterior of the structure to the vegetation. (25 feet)
 - Zone One shall contain no tall trees or shrubs that are directly adjacent to habitable structures or other combustible construction that provides a means for transferring fire to the habitable structures. Structures such as porches, walls, and combustible gutters that are located within brush management Zone One shall be at a minimum 10 feet from the vegetation.
 - Plants within Zone One shall be primarily fire-resistant and less than 4 feet in height with the exception of trees. Plants shall be trimmed and fire-resistant. Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structure to the dripline of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
 - Fire resistant irrigation is required for all planting areas within Zone One except as follows:
 - Zone One irrigation systems and shall not be allowed in adjacent areas of existing or planned vegetation.
 - Zone One shall be maintained by the Owner or a regular basis by pruning and firming plants, controlling weeds, and maintaining irrigation systems.
- Zone Two Requirements**
 - The required Zone Two width shall be provided between Zone One and the unlanded, non-removable vegetation, and shall be measured from the edge of Zone One that is 10 feet from the habitable structure to the edge of unlanded vegetation. (65 feet)
 - Structures shall be maintained in Zone Two.
 - Within Zone Two, 60 percent of the plants over 18 inches in height shall be cut and disposed to a height of 6 inches.
 - Within Zone Two, all plants remaining after 50 percent are removed in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before wild fires are suppressed.
 - The following standards shall be used where Zone Two width is proposed to be planted with new plant material instead of planting existing native or naturalized vegetation. All trees, shrubs and grasses for Zone Two shall be native, fire-resistant and fire-retardant (as installed on plant).
 - Non-native plants shall be fire-resistant with a maximum height at maturity of 2 feet. Single specimens of fire-retardant plants may exceed this limitation if they are located to reduce the chance of transferring fire from native or naturalized vegetation to habitable structures.
 - All new Zone Two trees, shrubs, and hydroseed shall be temporarily irrigated and established. Only low-fire, low-growth, non-irrigated plants may be used in Zone Two. Only trees will have permanent irrigation. Overstory and runoff for the irrigation shall not flow into adjacent areas of existing native or naturalized vegetation.
 - Where Zone Two is being revegetated as a requirement of Section 142.041(4), regulations shall comply with the existing standards in the Land Development Manual. Fifty percent of the planting area shall be planted with plants that are not over 18 inches tall. The remaining planting area may be planted with taller material, but this material shall be maintained in accordance with the requirements in existing portions of the Code.
 - Zone Two shall be maintained by the Owner on a regular basis by pruning and firming plants, controlling weeds, and maintaining any temporary irrigation systems. Typically, the site will be evaluated each fall for pruning and firming.
 - Fire Chief may modify the requirements of this section for existing structures to require brush management in compliance with this section for any area, independent of site, location, or condition if it is deemed that or threaten fire hazards.
 - If the Fire Chief requires a fire-retardant plant in accordance with this section as part of the City's approval of a development permit, the specifications shall be tested by the approved permit conditions.
 - Brush management for existing structures shall be performed by the owner of the property that contains the native and naturalized vegetation. This requirement is independent of whether the structure being protected by brush management is owned by the property owner, subject to three requirements or its ownership property.

GENERAL NOTES

- A thorough soil analysis by a qualified geotechnical will influence final plant selection, soil amendment, irrigation system design and use, and future maintenance practices.
- All landscape maintenance shall be provided by Owner. The labor maintenance period will be sufficient in duration to ensure that all specifications are met. This includes removal of various weeds, regrading or plant establishment where necessary, insect and disease control, and continued maintenance as recommended by the agronomist.
- Grass seed areas shall be hydro-seeded to prevent erosion. In the event that construction of buildings does not occur within 30 days of grading.

GENERAL NOTES CONT.

- Planting areas and bare soil areas with slopes less than 2:1 shall receive a 2" deep (minimum) layer of bark mulch. Steeper slopes requiring revegetation and areas planted with ground cover all planting areas with slopes 2:1 or greater shall receive erosion control matting. All exposed soil areas (without vegetation) shall also be mulched to the same minimum depth.
- Plant materials have over selected mature sources for the design, and that integrate with the architectural theme.
- Landscape materials shall be installed in planting areas as needed to prevent drainage across walkways and patio surfaces.
- Tree and shrub shall be installed where they are placed within 5 feet of public improvements. Root control barriers shall be placed adjacent to the landscape. Do not encircle trees per City of San Diego landscape requirements.
- Finished grade of all planter areas shall be sloped to drain perpendicular with curb slopes.
- Retaining wall (6 feet high or greater) shall be constructed with a 10" wide (minimum) wall. (minimum 2' wide) depth and/or on top of the wall. All planting used for screening shall achieve 80% minimum coverage within 2 years of installation.

IRRIGATION

All landscape areas will be watered with a permanent below-grade, fully automatic irrigation system. This system will be controlled by a dual program electronic time clock and remote control valves. Pop-up head models will be used adjacent to walkways and roadways. Bubble heads will be used to landscape areas less than 6' wide. The system will be installed as soon as possible after construction and prior to placement of plant materials.

MAINTENANCE

Required landscape areas shall be maintained by Owner. The landscape areas shall be maintained free of debris and litter and plant materials shall be maintained in a healthy growing condition. Deceased or dead plant material shall be maintained in a healthy condition or be removed. (See Appendix "B").

CONFORMANCE

Conformance: All landscape and irrigation shall be installed and maintained in accordance with the City of San Diego's Landscape Regulations, the Land Development Manual, Landscape Standards, and all other landscape related City and Regional Standards.

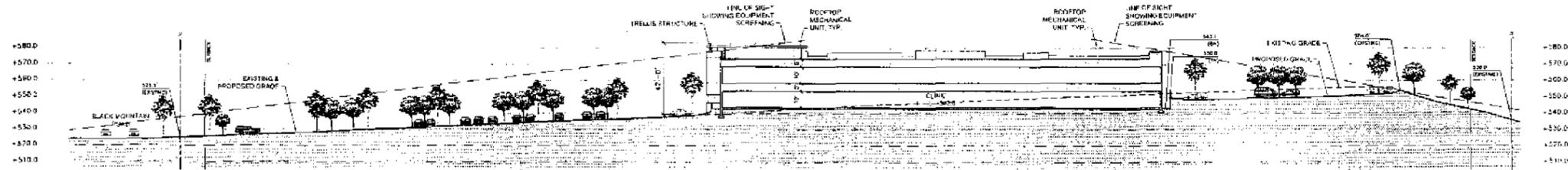
MINIMUM TREE SEPARATION DISTANCE

- Minimum Tree Separation Distance:
 - Approximate Minimum Distance to Street, Tree
 - Traffic signals (stop sign) - 20 feet
 - Underground utility lines - 5 feet (10' for sewer)
 - Above ground utility structures - 10 feet
 - Overhead utility lines - 10 feet
 - Intersections (crossing curbs lines of two streets) - 25 feet

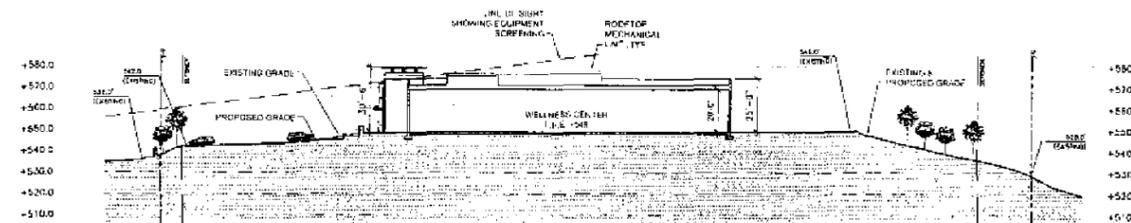
ADDITIONAL NOTES:

- As per discussions with City Engineer and the Fire Marshal of the City of San Diego (October 18, 2007) regarding the required Brush Management of the south side of the existing Wellness Center building, the following Modified Brush Management Program shall be implemented in accordance with Section 142.041(2) of the Land Development Code (LDC):
- Brush Management Zone One exists between the building and the top of slope. All Zone One landscaping shall be under a Modified Brush Management Program per the Fire Marshal and Section 142.041(2) of the LDC.
- Due to the limited property boundaries on the south side of the subject site, Brush Management Zone Two has been modified or reduced in width (less than 65 feet) per the Fire Marshal and Section 142.041(2) of the LDC.
- Fire-Rated construction materials are proposed for the exterior cladding in lieu of a Brush Management Program. These structural enhancements shall be in addition to the existing requirements found in LDC Section 145.0502 of the Building Regulations.

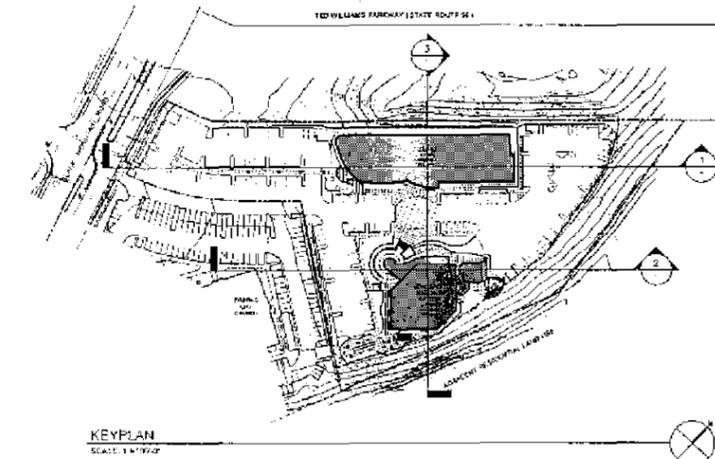
PREPARED BY:	_____
NAME:	NINELL & ASSOCIATES LANDSCAPE ARCHITECTURE, INC.
ADDRESS:	3010 GOLDEN PINE STREET SAN DIEGO, CA 92108
PHONE:	(619) 222-1922
FAX:	(619) 328-1997
REVISION 0:	_____
REVISION 1:	_____
REVISION 2:	_____
REVISION 3:	_____
REVISION 4:	_____
REVISION 5:	_____
REVISION 6:	_____
REVISION 7:	_____
REVISION 8:	_____
REVISION 9:	_____
REVISION 10:	_____
REVISION 11:	_____
ORIGINAL DATE:	04-27-08
PRELIM REVIEW:	08-08-08
SHEET TITLE:	BRUSH MANAGEMENT PLAN
SHEET NO.:	8 OF 15
DATE:	_____
PROJECT:	_____



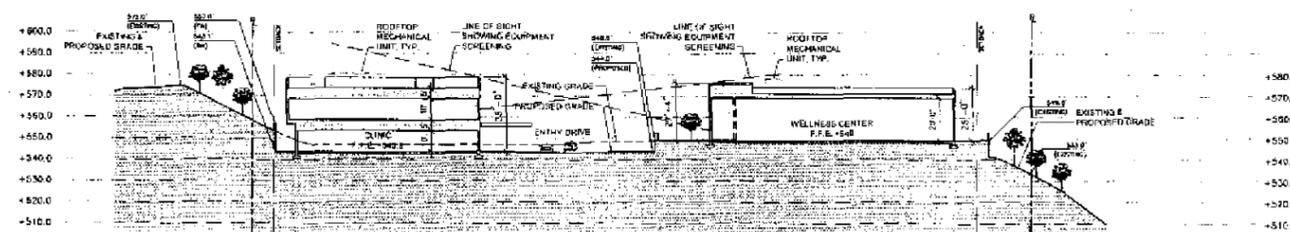
1 CLINIC SECTION LOOKING NORTHWEST
SCALE: 1/8"=1'-0"



2 WELLNESS CENTER SECTION LOOKING NORTHWEST
SCALE: 1/8"=1'-0"



KEY PLAN
SCALE: 1/4"=1'-0"



3 SITE SECTION LOOKING NORTHEAST
SCALE: 1/8"=1'-0"

PREPARED BY: _____

NAME: CHILDS MASCARI WARNER ARCHITECTS
ADDRESS: 1717 KETNER BLVD, STE. 100
SAN DIEGO, CA 92101
PHONE: (619) 514-0000
FAX: (619) 514-0001

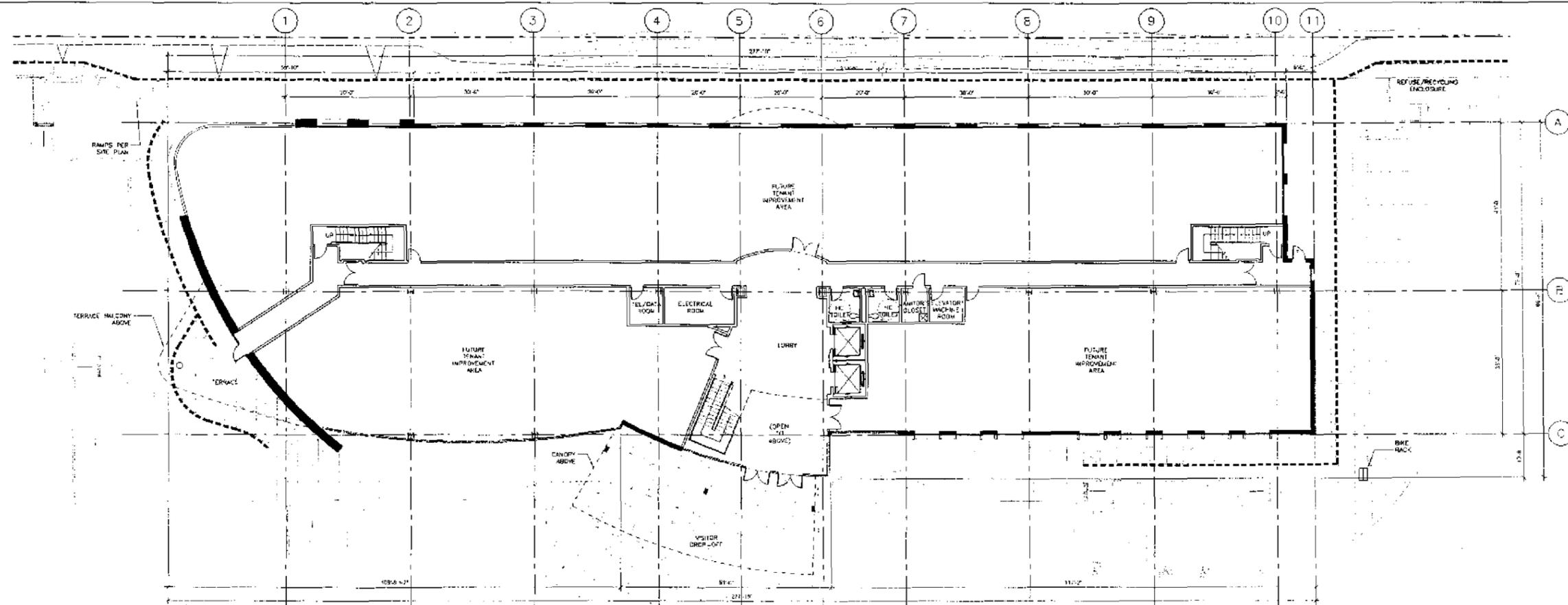
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REVISION 6: _____
REVISION 5: _____
REVISION 4: _____
REVISION 3: _____
REVISION 2: 04-24-08
REVISION 1: 01-15-08

ORIGINAL DATE: 02-27-07
PRELIM. REVIEW: 06-08-06

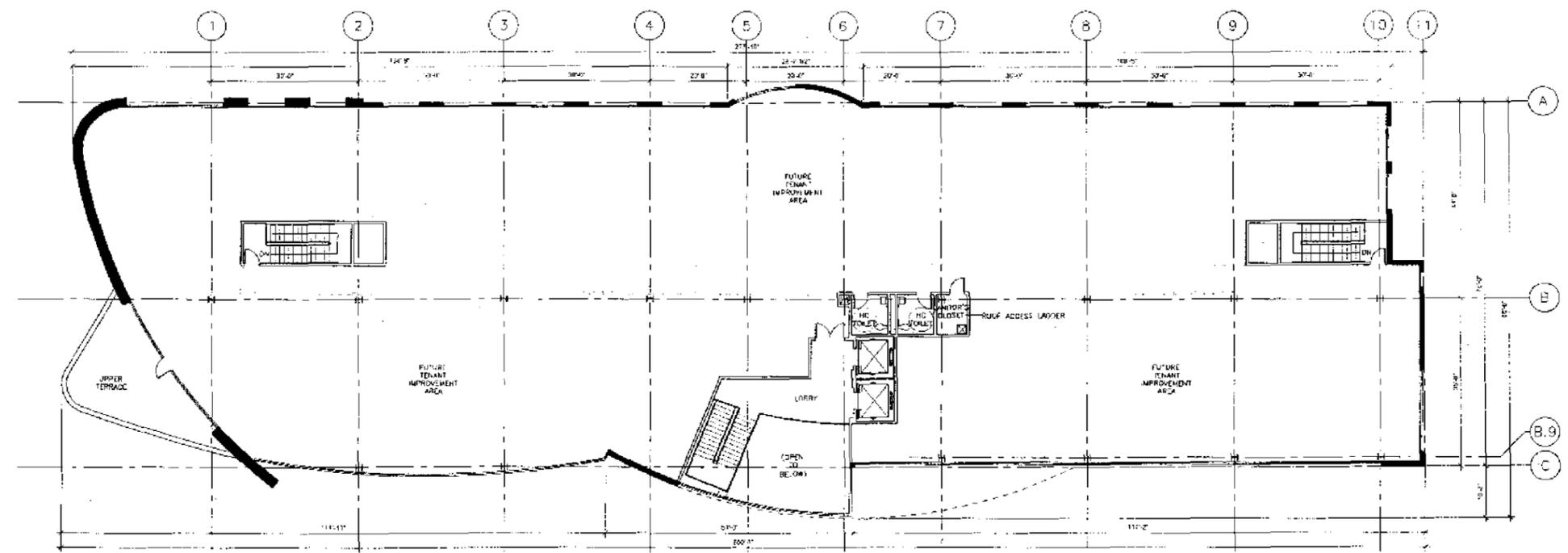
SHEET TITLE:
SITE SECTIONS

SHEET NO. 9 OF 15

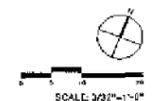
PI# 123854
PROJECT# 200531.10



1 FIRST FLOOR PLAN
SCALE: 3/32"=1'-0"



2 SECOND FLOOR PLAN
SCALE: 3/32"=1'-0"



PREPARED BY: _____

NAME: CHILDS MASCARI WARNER ARCHITECTS
ADDRESS: 1717 KETNER BLVD., STE. 100 SAN DIEGO, CA 92101
PHONE: (619) 514-0060
FAX: (619) 514-0061

REVISION 8: _____
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REVISION 4: _____
REVISION 3: _____
REVISION 2: _____
REVISION 1: _____

ORIGINAL DATE: 04-27-03
PRELIM. REVIEW: 05-08-03

SHEET TITLE: CLINIC BUILDING FLOOR PLANS

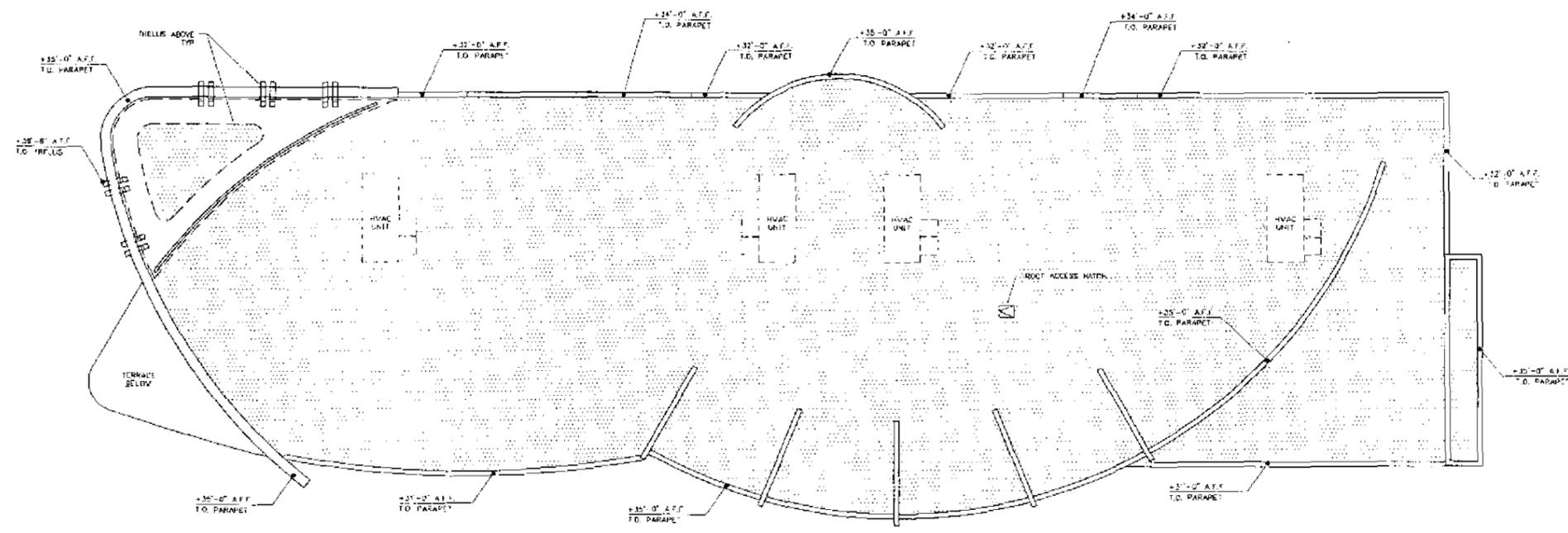
SHEET NO. 10 OF 15

PT# 1298E4
PROJECT# 200331.10

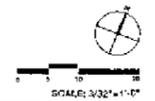
CHILDS MASCARI WARNER
Architects
1717 KETNER BLVD., STE. 100
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619.514.0060 FAX 619.514.0061

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CLINIC & COMMUNITY WELLNESS CENTER
12855 BLACK MOUNTAIN ROAD
SAN DIEGO, CALIFORNIA



1 ROOF PLAN
SCALE: 3/32"=1'-0"



PREPARED BY: _____

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SAN DIEGO, CA 92107

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REVISION 7: _____

REVISION 8: _____

REVISION 9: _____

REVISION 4: _____

REVISION 3: _____

REVISION 2: 04-24-08

REVISION 1: 01-18-08

ORIGINAL DATE: 04-27-07

PRELIM REVIEW: 08-05-08

SHEET TITLE:
CLINIC BUILDING
ROOF PLAN

SHEET NO. 11 OF 15

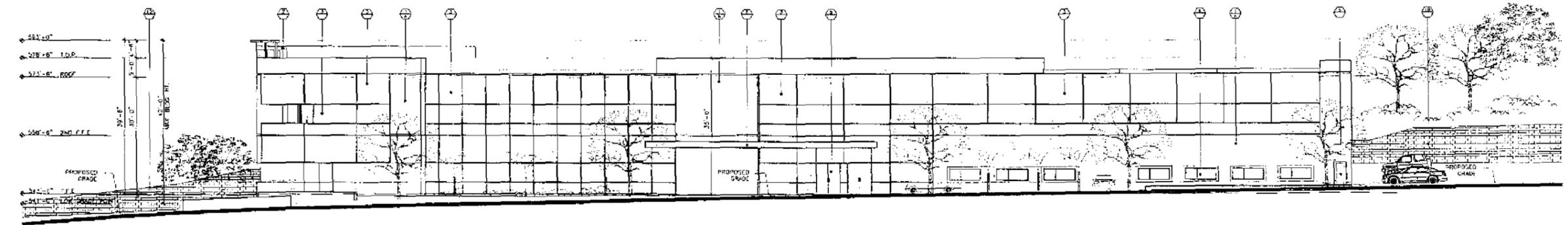
PI# 128854

PROJECT 200531.10

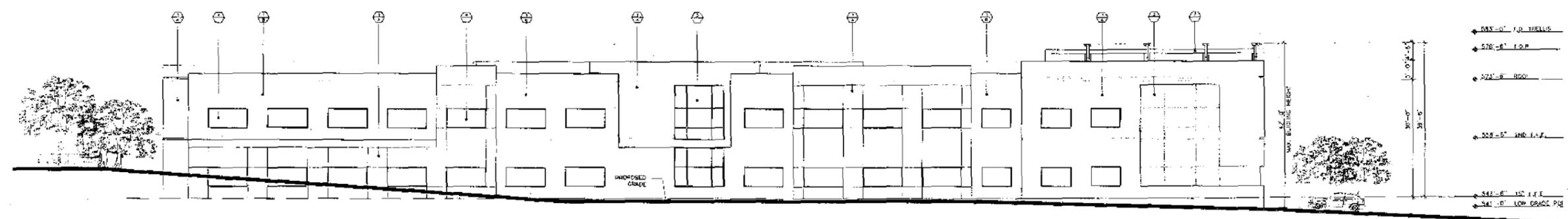
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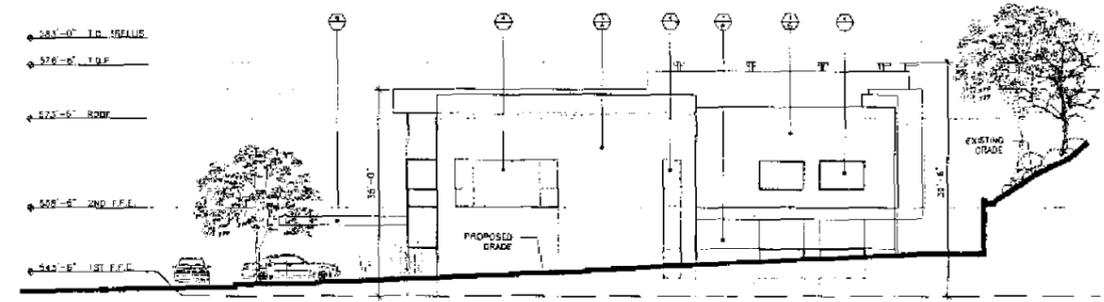
RANCHO PENASQUITOS
CLINIC & COMMUNITY WELLNESS CENTER
12855 BLACK MOUNTAIN ROAD
SAN DIEGO, CALIFORNIA



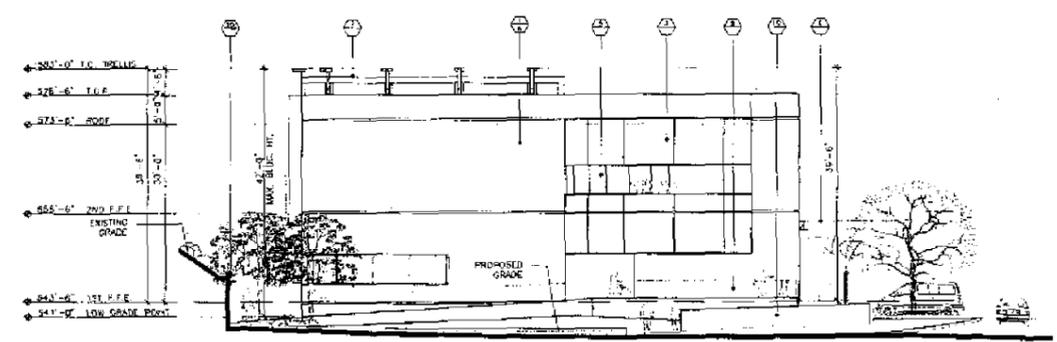
CLINIC SOUTH ELEVATION
SCALE: 3/32"=1'-0"



CLINIC NORTH ELEVATION
SCALE: 3/32"=1'-0"



CLINIC EAST ELEVATION
SCALE: 3/32"=1'-0"



CLINIC WEST ELEVATION
SCALE: 3/32"=1'-0"

MATERIALS LEGEND

NO.	DESCRIPTION
1	CONCRETE TILT-UP PANEL
2	GLASS
3	ALUMINUM CLADDING WALL/ROOF (EXCEPT WHERE NOTED OTHERWISE)
4	ALUMINUM WINDOW
5	ALUMINUM DOOR
6	ALUMINUM CLAD PATIO CHOPPY
7	ALUMINUM CLAD TROUSER SYSTEM
8	HOT LIPS
9	GLASS PANEL INSULATION
10	RETAINED WALL

COLOR LEGEND

NO.	DESCRIPTION
1	PAINT COLOR 01 TO MATCH EXISTING EXTERIOR FINISH
2	PAINT COLOR 02 TO MATCH EXISTING EXTERIOR FINISH



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 REVISION 4: _____
 REVISION 3: _____
 REVISION 2: 04-16-08
 REVISION 1: 01-15-08

ORIGINAL DATE: 04-27-07
 PRELIM REVIEW: 08-08-07

SHEET TITLE: CLINIC ELEVATIONS

SHEET NO. 12 OF 15

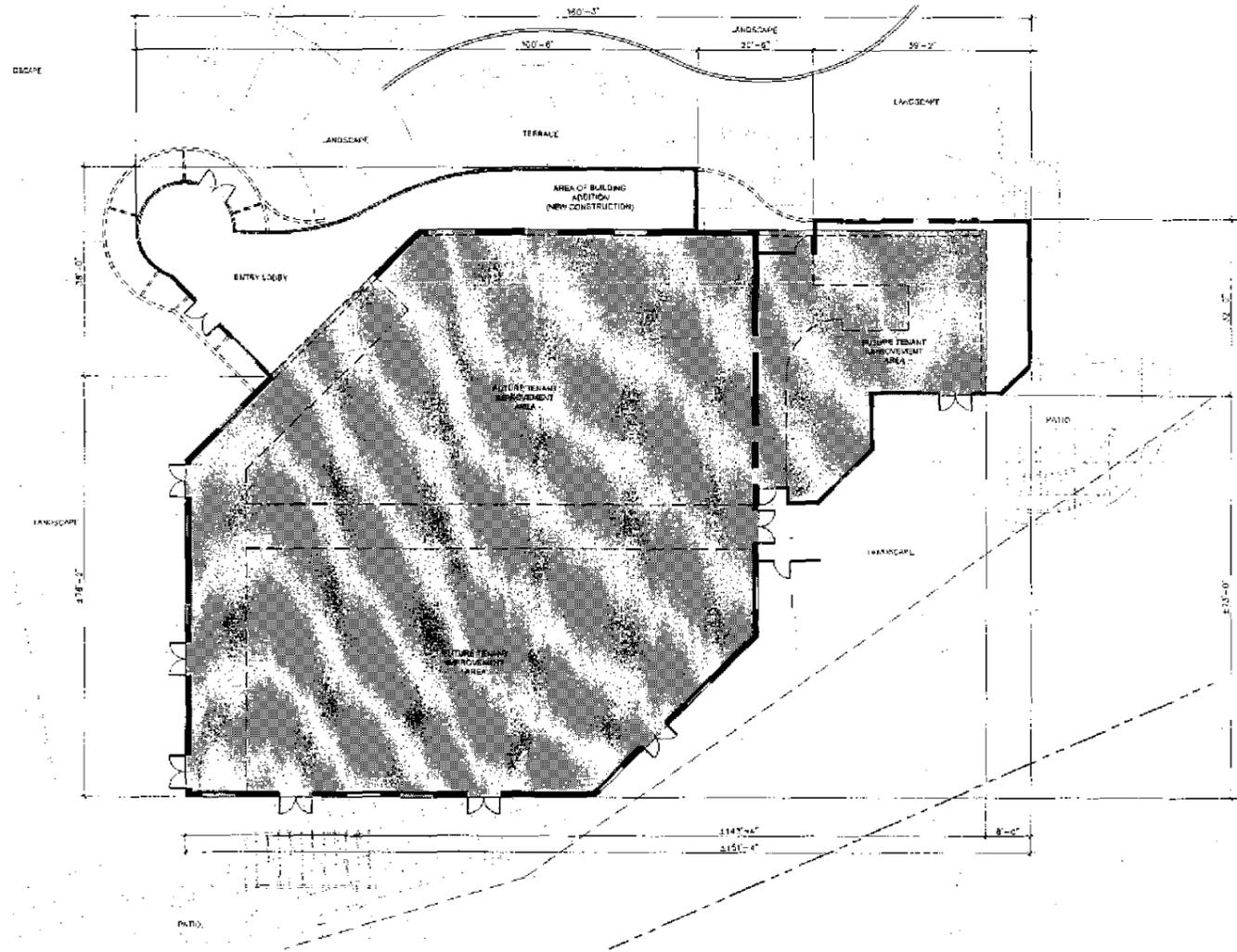
PTS# 129854

PROJECT# 200531.10

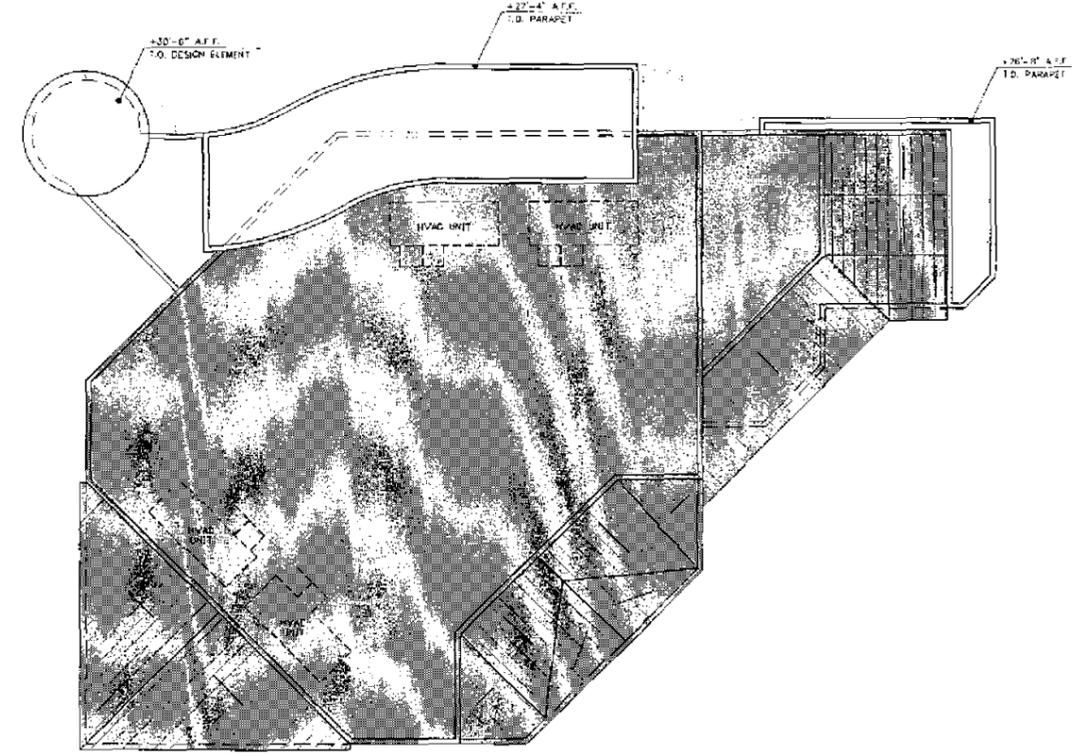
CHILDS MASCARI WARNER
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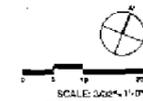


1 FLOOR PLAN
SCALE: 1/8"=1'-0"

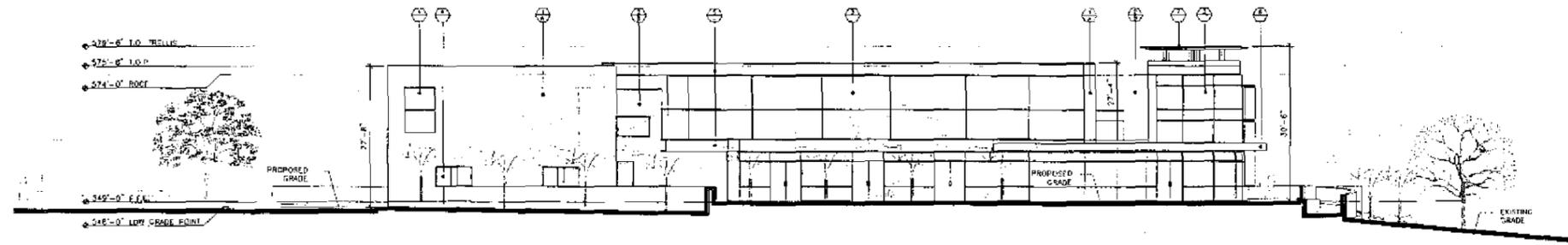


2 ROOF PLAN
SCALE: 1/8"=1'-0"

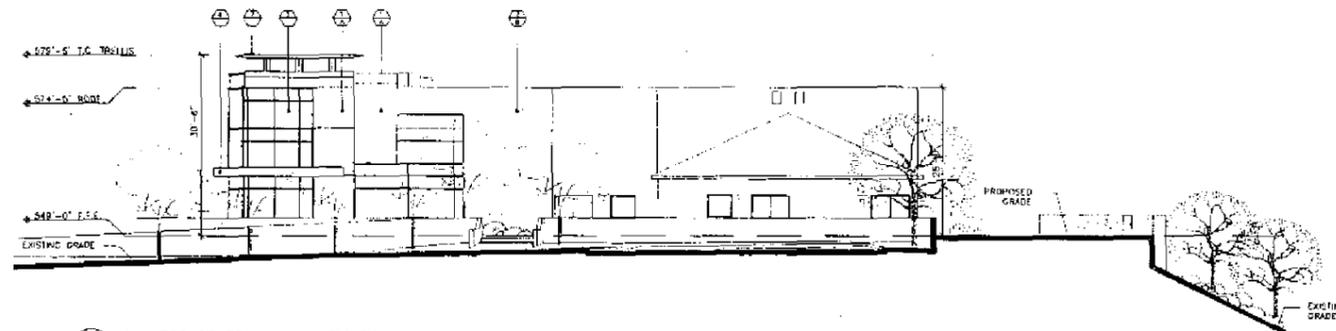
EXISTING BUILDING TO REMAIN
 PROPOSED BUILDING



PREPARED BY:
 NAME: CHILDS MASCARI WARNER ARCHITECTS
 ADDRESS: 1217 JORDINE BLVD., SUITE 100 SAN DIEGO, CA 92101
 PHONE: (619) 814-0080
 FAX: (619) 814-0081
 REVISION 8: _____
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 REVISION 6: _____
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 REVISION 4: _____
 REVISION 3: _____
 REVISION 2: 04-24-08
 REVISION 1: 01-15-08
 ORIGINAL DATE: 04-27-07
 PRELIM. REVIEW: 06-08-08
 SHEET TITLE:
 COMMUNITY WELLNESS
 CENTER FLOOR & ROOF PLAN
 SHEET NO. 13 OF 15
 PLS# 129854
 PROJECT# 200531.10



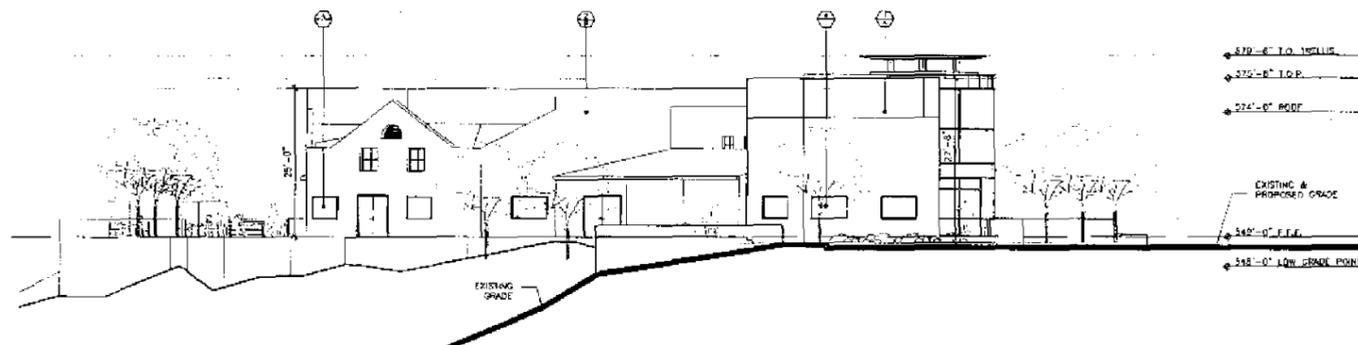
1 WELLNESS CENTER NORTH ELEVATION
SCALE: 3/32"=1'-0"



2 WELLNESS CENTER WEST ELEVATION
SCALE: 3/32"=1'-0"



3 WELLNESS CENTER SOUTH ELEVATION
SCALE: 3/32"=1'-0"



4 WELLNESS CENTER EAST ELEVATION
SCALE: 3/32"=1'-0"

MATERIALS LEGEND

- | NO. | DESCRIPTION |
|-----|--|
| 1 | CONCRETE 14'-0" PANEL |
| 2 | EXISTING ROOFING (TILT-UP PANEL) |
| 3 | ALUMINUM CURTAIN WALL/PARTITION SYSTEM (TYPICAL SPEAK SYSTEM, TYP) |
| 4 | ALUMINUM WINDOWS |
| 5 | ALUMINUM CLAD HORIZONTAL FINS |
| 6 | ALUMINUM CLAD ENTRY CANOPY |
| 7 | ALUMINUM CLAD RELLIS SYSTEM |
| 8 | UP AND DOWN LIGHTS, TYP |

COLOR LEGEND

- | NO. | DESCRIPTION |
|-----|--|
| 1 | PAINT COLOR AS TO MATCH EXISTING EXTERIOR TRIM |
| 2 | EXISTING MATCHING TO EXTERIOR |
| 3 | PAINT COLOR AS TYPICAL TO MATCH EXISTING EXTERIOR TRIM |



PREPARED BY:
 NAME: CHILDS MASCARI WARNER ARCHITECTS
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REVISION 0:
 REVISION 1:
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 REVISION 7:
 REVISION 8:
 REVISION 9:

ORIGINAL DATE: 04-27-07
 PRELIM REVIEW: 06-08-08

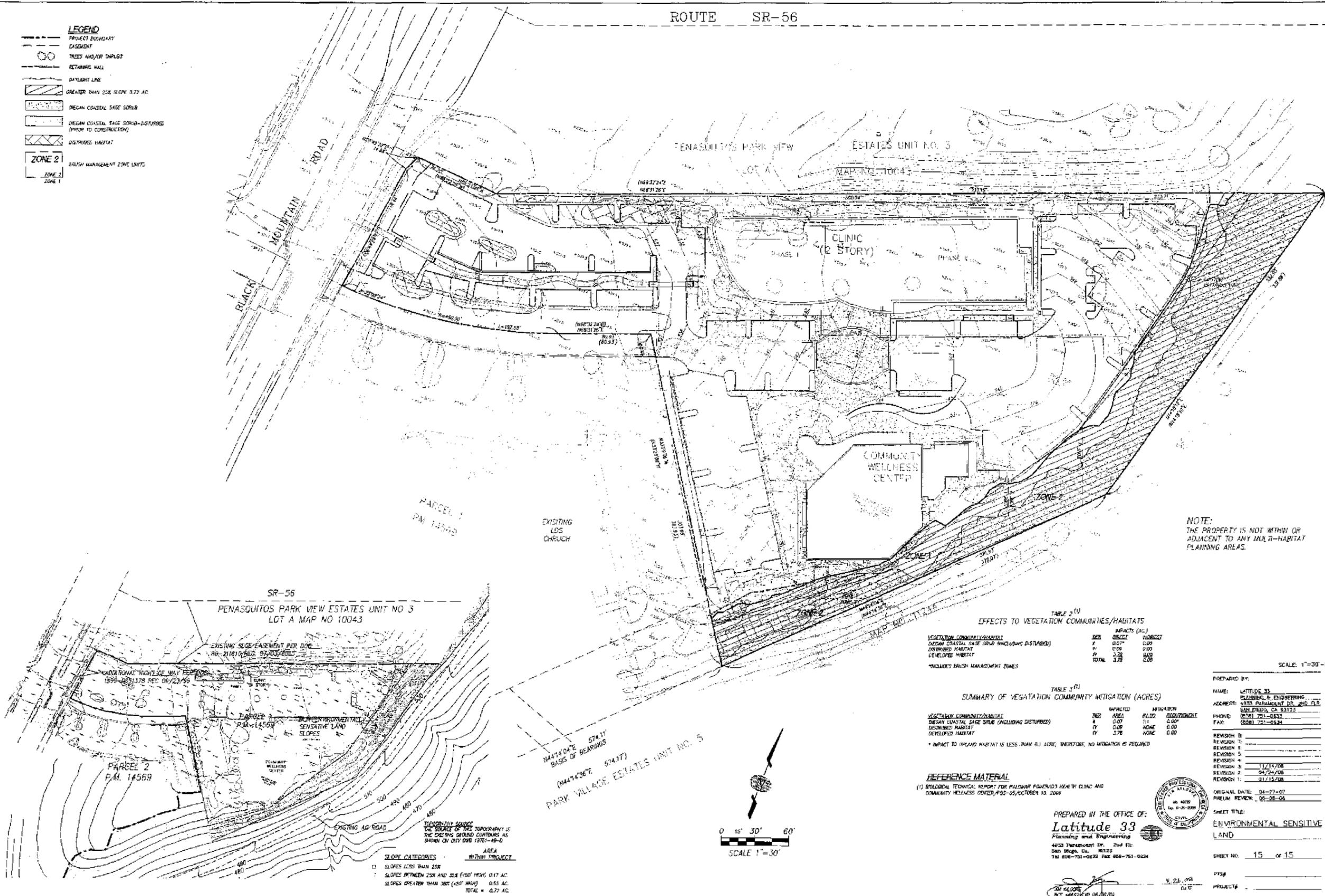
SHEET TITLE:
 COMMUNITY WELLNESS CENTER ELEVATIONS

SHEET NO. 14 OF 15

PT# 129854
 PROJECT 200531.10

ROUTE SR-56

- LEGEND**
- PROJECT BOUNDARY
 - EASEMENT
 - TREES AND/OR SHRUB
 - RETAINING WALL
 - DAYLIGHT LINE
 - GREATER THAN 25% SLOPE 0.77 AC
 - DESIGN COASTAL SAGE SCRUB
 - DESIGN COASTAL SAGE SCRUB-DISTURBED (PRIOR TO CONSTRUCTION)
 - DISTURBED HABITAT
 - BRUSH MANAGEMENT ZONE LIMITS
 - ZONE 2
 - ZONE 1



NOTE:
THE PROPERTY IS NOT WITHIN OR ADJACENT TO ANY MUA 7-HABITAT PLANNING AREAS.

TABLE 2 (U)
EFFECTS TO VEGETATION COMMUNITIES/HABITATS

VEGETATION COMMUNITY/HABITAT	NET	IMPACTS (AC)
OCEAN COASTAL SAGE SCRUB (INCLUDING DISTURBED)	F	0.07*
DISTURBED HABITAT	H	0.00
DEVELOPED HABITAT	H	3.28
TOTAL		3.35

*INCLUDES BRUSH MANAGEMENT ZONES

TABLE 3 (U)
SUMMARY OF VEGETATION COMMUNITY MITIGATION (ACRES)

VEGETATION COMMUNITY/HABITAT	NET	AREA	EQD	DEVELOPMENT
DESIGN COASTAL SAGE SCRUB (INCLUDING DISTURBED)	A	0.07	1:1	0.00*
DISTURBED HABITAT	F	0.00	NONE	0.00
DEVELOPED HABITAT	F	1.78	NONE	0.00

*IMPACT TO (OCEAN) HABITAT IS LESS THAN 0.1 AC; THEREFORE, NO MITIGATION IS REQUIRED

REFERENCE MATERIAL
(1) BIOLOGICAL TECHNICAL REPORT FOR PALOMAR FOUNDATION HEALTH CLINIC AND COMMUNITY WELLNESS CENTER, FEBRUARY/OCTOBER 10, 2006

SCALE: 1"=30'-0"

PREPARED BY:
NAME: LATITUDE 33
PLANNING & ENGINEERING
ADDRESS: 4325 PARAMOUNT DR., 2ND FLR
SAN DIEGO, CA 92122
PHONE: (619) 751-0333
FAX: (619) 751-0334

REVISION 1: 01/15/08
REVISION 2: 04/24/08
REVISION 3: 11/14/08
REVISION 4:
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REVISION 7:
REVISION 8:
REVISION 9:
REVISION 10:
REVISION 11:
REVISION 12:

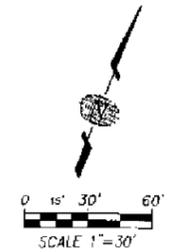
ORIGINAL DATE: 04-27-07
PRELIM REVIEW: 08-28-06

SHEET TITLE:
ENVIRONMENTAL SENSITIVE LAND

SHEET NO: 15 OF 15

DATE: 05/20/08

PREPARED IN THE OFFICE OF:
Latitude 33
Planning and Engineering
4325 PARAMOUNT DR., 2ND FLR
SAN DIEGO, CA 92122
TEL: 619-751-0333 FAX: 619-751-0334



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CLINIC & COMMUNITY WELLNESS CENTER
12558 BLACK MOUNTAIN ROAD
SAN DIEGO, CALIFORNIA

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-7821

SITE DEVELOPMENT PERMIT NO. 447403
PLANNED DEVELOPMENT PERMIT NO. 447402
COMMUNITY WELLNESS CAMPUS
PROJECT NO. 129854 [MMRP]
CITY COUNCIL

This Site Development Permit No. 447403 and Planned Development Permit No. 447402 is granted by the City Council of the City of San Diego to PALOMAR POMERADO HEALTH, Michael H. Covert, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0504 and 126.0604. The 4.45 acre site is located at 12855 Black Mountain Road within the Rancho Penasquitos Community Plan. The project site is legally described as Parcel 2 of Map No. 14569.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish portions of the existing building, retain the nave portion of the existing chapel that will be incorporated into the wellness center and construct a 40,000 square foot urgent care facility and an 11,500 square foot wellness center, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 9, 2009, on file in the Development Services Department.

The project shall include:

- a. Demolition of portions of the existing building, preserving the nave portion of the existing chapel to be incorporated in the wellness center building;
- b. Construction of a one-story, 11,500 square-foot wellness center and a two-story, 40,000 square-foot clinic;
- c. The retaining wall along the northern portion of the site is 510 feet long and an approximate length of 293 feet varies in height from 10 to 14 feet. The portions of the retaining wall exceeding 12 feet require the requested deviation;

- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Off-street parking; and
- f. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
4. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site

improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

8. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project

12. The mitigation measures specified in the Mitigation Monitoring and Reporting Program, and outlined in Mitigated Negative Declaration for PPH Rancho Penasquitos Satellite Medical

Facility, Prepared by PBS&J, dated June 2007, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Mitigated Negative Declaration for PPH Rancho Penasquitos Satellite Medical Facility, Prepared by PBS&J, dated June 2007, satisfactory to the Development Services Department and the City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

Air Quality
Biological Resources
Archaeological Resources
Noise

14. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

ENGINEERING REQUIREMENTS:

15. The Owner/Permittee shall dedicate 1/2 of a 142 foot wide right-of-way and shall provide 1/2 of 98 feet of pavement, curb, gutter, and five-foot wide sidewalk within a ten-foot curb to property line distance, satisfactory to the City Engineer.

16. Prior to the issuance of any building permit, the Owner/Permittee shall replace the existing driveway with City standard driveway, on Black Mountain Road, per Standard Drawing G-14A, G-16 and SDG-100, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate and show the type and location of all post construction Best Management Practices (BMP's) on the final construction drawings, consistent with the approved Water Quality Technical Report.

20. The drainage system for this project shall be private and will be subject to approval by the City Engineer.

21. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to

requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

22. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 99 08 and the Municipal Storm Water Permit, Order No. 2001-01 (NPDES General Permit No. CAS000002 and CA S0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.

23. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 99 08 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in Section C.7 of SWRCB Order No. 99 08 DWQ.

LANDSCAPE REQUIREMENTS:

24. Prior to issuance of construction permits, the Owner/Permittee shall submit landscape construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the Land Development Manual Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A", on file in the Office of the Development Services Department.

25. Prior to issuance of any construction permits, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Land Development Manual, Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A", Landscape Development Plan, on file in the Office of the Development Services Department.

26. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

27. The Owner/Permittee shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual, Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. A Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to a Certificate of Occupancy.

30. Prior to issuance of construction permits, the Owner/Permittee shall ensure that all proposed landscaping, especially landscaping adjacent to native habitat and/or Multiple Habitat Planning Area (MHPA), shall not include exotic plant species that may be invasive to native habitats. Plant species found within the California Invasive Plant Council's (Cal-IPC) Invasive Plant Inventory and the City of San Diego's Land Development Manual, Landscape Standards are prohibited.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

31. The Owner/Permittee shall implement the following requirements in accordance with the Modified Brush Management Program shown on Exhibit "A", Brush Management Plan, on file in the Office of the Development Services Department.

32. Prior to issuance of any construction permits for grading, Landscape Construction Documents required for the construction permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A".

33. Prior to issuance of any construction permits, a complete set of Brush Management Construction Documents shall be submitted for approval to the Development Services Department and the Fire Marshall. The construction documents shall be in substantial conformance with Exhibit "A" and shall comply with the Uniform Fire Code, M.C. 55.0101; the Land Development Manual, Landscape Standards; and the Land Development Code, Landscape Regulations Section 142.0412.

34. The Modified Brush Management Program shall implement two zones consistent with the Brush Management Regulations of the Land Development Code Section 142.0412(i) as follows: Brush Management Zone One shall fall between the proposed building and the top of slope. All Zone One landscaping shall be under a Modified Brush Management Program per the Fire Marshall. Due to the limited property boundaries on the south side of the subject site, Brush Management Zone Two has been modified or reduced in width (less than 65 feet) per the Fire Marshall.

35. Fire-Rated construction materials shall be proposed for the clinic building in lieu of a Brush Management Program. These structural enhancements shall be in addition to the standard requirements found in LDC Section 145.0502 of the Building Regulations.

36. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while non-combustible accessory structures may be approved within the designated Zone One area subject to Fire Marshall and Development Services Department approval.

37. The following note shall be provided on the Brush Management Construction Documents: "It shall be the responsibility of the Permittee to schedule a pre-construction meeting on-site with the contractor and the Development Services Department to discuss and outline the implementation of the Modified Brush Management Program."

38. In Zone One, plant material shall be selected to visually blend with the existing hillside vegetation. No invasive plant material shall be permitted as jointly determined by the Landscape Analysis Section [LAS] and the Environmental Analysis Section [EAS].

39. All new Zone Two planting shall be temporarily irrigated with an above-ground irrigation system until established. Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing weeds, and maintaining the temporary irrigation system. Only native vegetation shall be planted or hydroseeded. If Zone Two is being revegetated, 50% of the planting area shall be seeded with material that does not grow taller than 24 inches.

40. Prior to final inspection and issuance of any Certificate of Occupancy, the approved Modified Brush Management Program shall be implemented. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Land Development Manual, Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

41. No fewer than 206 off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the Development Services Department.

42. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

43. Prior to the issuance of construction permits, the Owner/Permittee shall file an application with the Development Services Department for the rescission of Conditional Use Permit Nos. C-19501 and 4792. The said development permits shall be rescinded in accordance with SDMC Section 126.0110(b).

44. All signs associated with this development shall be consistent with sign criteria established by City-wide sign regulations.

45. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

WASTEWATER REQUIREMENTS:

46. All onsite sewer facilities serving this site shall be private.

47. Prior to the issuance of any engineering or building permits, the Owner/Permittee shall provide evidence of the private sewer easement across the adjacent lot to the southwest that benefits this project's lot, satisfactory to the City of San Diego Director of Public Utilities.

48. Prior to the issuance of any engineering or building permits, the Owner/Permittee shall provide an Encroachment Maintenance and Removal Agreement for all private utilities installed in or over the public sewer easement.

49. The Owner/Permittee shall design and construct any proposed public sewer facilities to the most current edition of the City of San Diego's Sewer Design Guide.

50. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Plumbing Code and shall be reviewed as part of the building permit plan check.

51. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities.

WATER REQUIREMENTS:

52. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the cut & plug and abandonment of the easterly portion of the existing 8-inch PVC easement main.

53. Construction on the remaining portion of the easement main shall include removal of the 90 degree bend and replacement with an 8-inch tee and 8-inch gate valve.

54. To the north of the 8-inch tee, the existing 8-inch gate valve will be removed and replaced with a blind flange.

55. The Owner/Permittee will be required to process B-Sheet and D-Sheet drawings for the water easement abandonment, the cut & plug and abandonment of a portion of the easement water main and the proposed main additions/alterations.

56. An Encroachment, Maintenance and Removal Agreement will be required for all private encroachments into the existing 24-foot-wide City of San Diego water easement.

57. Prior to the issuance of any building permits, the Owner/Permittee shall apply for plumbing permits for the installation of appropriate private back flow prevention devices on all proposed water services to the development, including all domestic, fire and irrigation services, in a manner satisfactory to the Cross Connection Control Group, the Director of Public Utilities and the City Engineer.

58. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall install fire hydrants at locations satisfactory to the Fire Department, the Director of Public Utilities and the City Engineer. Fire hydrants shall be located a minimum of five feet from any structures above, at or below grade. All on-site fire hydrants shall be private.

ATTACHMENT 7

59. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall design and construct new public water facilities in acceptable alignments and rights-of-way.

60. Prior to the issuance of any certificates of occupancy all public water facilities necessary to serve this development, including meters and services, and the cut & plug and abandonment of the easterly portion of the easement main, shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

61. All on-site water facilities shall be private including domestic, fire and irrigation systems.

62. Prior to the issuance of any building or engineering permits, except grading, the Owner/Permittee shall grant adequate water easements over all public water facilities that are not located within fully improved rights-of-way, satisfactory to the Director of Public Utilities and the City Engineer. All paving within easements shall conform to Schedule "J" or better. Easements, as shown on approved Exhibit "A", will require modification based on standards at final engineering.

63. It is the sole responsibility of the Owner/Permittee for any damage caused to or by public water facilities, adjacent to the project site, due to the construction activities associated with this development. In the event any such facility loses integrity then, prior to the issuance of any certificates of occupancy, the Owner/Permittee shall reconstruct any damaged public water facility in a manner satisfactory to the Water Department Director and the City Engineer.

64. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities and associated easements, as shown on approved Exhibit "A", will require modification based on standards at final engineering.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on April 9, 2009, Resolution No. PC-XXXX.

ATTACHMENT 7

Site Development Permit No. 447403
Planned Development Permit No. 447402
April 9, 2009

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

Laura C. Black, AICP
TITLE: Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

PALOMAR POMERADO HEALTH
Owner/Permittee

By _____
Michael H. Covert
President and CEO

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION RESOLUTION NO. XXXX-PC
SITE DEVELOPMENT PERMIT NO. 447403
PLANNED DEVELOPMENT PERMIT NO. 447402
COMMUNITY WELLNESS CENTER [MMRP]
PROJECT NO. - 129854

WHEREAS, PALOMAR POMERADO HEALTH, Michael H. Covert, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish portions of the existing building, retain the nave portion of the existing chapel that will be incorporated into the wellness center and construct a 40,000 square foot urgent care facility and an 11,500 square foot wellness center (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 447403 and 447402) on portions of a 4.45 acre site;

WHEREAS, the project site is located at 12855 Black Mountain Road within the Rancho Peñasquitos Community Plan;

WHEREAS, the project site is legally described as Parcel 2 of Map No. 14569;

WHEREAS, on April 9, 2009, the Planning Commission of the City of San Diego considered Site Development Permit No. 447403 and Planned Development Permit No. 447402 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated April 9, 2009.

FINDINGS:

Planned Development Permit - Section 126.0604

1. The proposed development will not adversely affect the applicable land use plan.

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road. The project site is designated "Religious Facilities" within the Rancho Peñasquitos Community Plan. The proposed project site would be re-designated in the Rancho Peñasquitos Community Plan as "General Institutional" from "Religious Facilities". The proposed project is consistent with the use and intensity for the General Institutional land use designation. Palomar Pomerado Health (PPH), covering 800 square miles, is the largest healthcare district in California. The PPH District has an immediate need to modernize and expand the facilities and services available to serve their constituents. One of the district's key methods of improving service delivery is to establish satellite facilities to augment existing and proposed hospitals in order to improve access to local healthcare services and meet projected future demands. The District's adopted Facilities Master Plan has identified the need for a satellite facility in Rancho Peñasquitos, which is within the

ATTACHMENT 8

boundaries of the District's existing service area. PPH determined the need and community benefit of establishing Outpatient Satellite facilities in communities throughout the district to improve access to local healthcare services. Therefore, the project will not adversely affect the adopted land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed development has been designed and will be constructed to meet all applicable zoning codes, building, fire and other regulations applicable to this type of development as imposed by the City of San Diego, the State of California and all federal agencies. A Mitigated Negative Declaration (MND) has been prepared for the project in accordance with the California Environmental Quality Act (CEQA). A Mitigation Monitoring Reporting Program (MMRP) will be implemented in the following issue areas: Air Quality, Biological Resources, Historical Resources (Archaeology), and Noise. As such, the proposed development will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code.

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed development complies with general institutional as the proposed designation within the Rancho Penasquitos Community Plan. Further, the proposed development is consistent with the scale of the buildings adjacent to the project site. The proposed development is architecturally consistent in terms of style and materials with the surrounding development and the adjoining community.

The proposed development generally has been designed to comply with the regulations of the Land Development Code, including requirements for setbacks, floor area ratio, street design, open space, grading, landscaping, parking, etc. and all other requirements of the development criteria for the above zones, as allowed through a Planned Development Permit. Implementation of the proposed project will require a deviation from the retaining wall height along the area behind the proposed clinic, along the northern property line, adjacent to Caltrans property and State Route 56. The proposed retaining wall along the northern portion of the site is 510 feet long and an approximate length of 293 feet varies in height from 10 to 14 feet. The portions of the retaining wall exceeding 12 feet require the requested deviation from the San Diego Municipal Code. All other proposed walls and retaining walls within the project site are consistent with the San Diego Municipal Code.

ATTACHMENT 8

Upon the approval of such deviation, the project will fully comply with the regulations of the Land Development Code.

4. The proposed development, when considered as a whole, will be beneficial to the community.

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed development complies with general institutional as the proposed designation within the Rancho Peñasquitos Community Plan. The project area was developed through Conditional Use Permit No. 4792, which allowed for the operation of a church, school and day care facility on the project site. The church has moved to another location and school/day care operations ceased in August 2006. There are no current active uses on site.

The proposed project has been designed and will be developed in accordance with the intent of the Rancho Peñasquitos Community Plan to assure that the theme, architectural character, development considerations and other functional concepts of the Plans are implemented. The proposed project would also be consistent with the Progress Guide and General Plan.

Palomar Pomerado Health (PPH), covering 800 square miles, is the largest healthcare district in California. The PPH District has an immediate need to modernize and expand the facilities and services available to serve their constituents. One of the district's key methods of improving service delivery is to establish satellite facilities to augment existing and proposed hospitals in order to improve access to local healthcare services and meet projected future demands. The District's adopted Facilities Master Plan has identified the need for a satellite facility in Rancho Peñasquitos, which is within the boundaries of the District's existing service area. PPH determined the need and community benefit of establishing Outpatient Satellite facilities in communities throughout the district to improve access to local healthcare services. As such, the proposed uses are appropriate at the proposed location and the proposed development will be beneficial to the entire community.

5. Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The project is requesting a deviation for the retaining wall height at the

ATTACHMENT 8

location behind the proposed clinic building along the northern portion of the site. The proposed retaining wall along the northern portion of the site is 510 feet long and an approximate length of 293 feet varies in height from 10 to 14 feet. The portions of the retaining wall exceeding 12 feet require the requested deviation from the San Diego Municipal Code. All other proposed walls and retaining walls within the project site are consistent with the San Diego Municipal Code. The proposed location of the retaining wall requiring a deviation for height allows for the clinic building to be sited allowing for internal vehicular circulation and an adequate separation from the proposed wellness center.

Additionally, this retaining wall and all others proposed within the project site have been designed throughout to minimize any potential visual impact to the maximum extent feasible. The proposed project will be designed in conformance with applicable development regulations and the Rancho Penasquitos Community Plan. The Rancho Penasquitos Community Plan would redesignate the project site for general institutional use with the proposed community plan amendment. The proposed project is consistent with this land use recommendation and development standards in effect for the subject property pursuant to the adopted Rancho Penasquitos Community Plan.

Site Development Permit - Section 126.0504

Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan;

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road. The project site is designated "Religious Facilities" within the Rancho Peñasquitos Community Plan. The proposed project site would be re-designated in the Rancho Peñasquitos Community Plan as "General Institutional" from "Religious Facilities". The proposed project is consistent with the use and intensity for the General Institutional land use designation. Palomar Pomerado Health (PPH), covering 800 square miles, is the largest healthcare district in California. The PPH District has an immediate need to modernize and expand the facilities and services available to serve their constituents. One of the district's key methods of improving service delivery is to establish satellite facilities to augment existing and proposed hospitals in order to improve access to local healthcare services and meet projected future demands. The District's adopted Facilities Master Plan has identified the need for a satellite facility in Rancho Peñasquitos, which is within the boundaries of the District's existing service area. PPH determined the need and community benefit of establishing Outpatient Satellite facilities in communities throughout the district to improve access to local healthcare services. Therefore, the project will not adversely affect the adopted land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed development has been designed and will be constructed to meet all applicable zoning codes, building, fire and other regulations applicable to this type of development as imposed by the City of San Diego, the State of California and all federal agencies. A Mitigated Negative Declaration (MND) has been prepared for the project in accordance with the California Environmental Quality Act (CEQA). A Mitigation Monitoring Reporting Program (MMRP) will be implemented in the following issue areas: Air Quality, Biological Resources, Historical Resources (Archaeology), and Noise. As such, the proposed development will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed development complies with general institutional as the proposed designation within the Rancho Penasquitos Community Plan. Further, the proposed development is consistent with the scale of the buildings adjacent to the project site. The proposed development is architecturally consistent in terms of style and materials with the surrounding development and the adjoining community.

The proposed development generally has been designed to comply with the regulations of the Land Development Code, including requirements for setbacks, floor area ratio, street design, open space, grading, landscaping, parking, etc. and all other requirements of the development criteria for the above zones, as allowed through a Planned Development Permit. Implementation of the proposed project will require a deviation from the retaining wall height along the area behind the proposed clinic, along the northern property line, adjacent to Caltrans property and State Route 56. The proposed retaining wall along the northern portion of the site is 510 feet long and an approximate length of 293 feet varies in height from 10 to 14 feet. The portions of the retaining wall exceeding 12 feet require the requested deviation from the San Diego Municipal Code. All other proposed walls and retaining walls within the project site are consistent with the San Diego Municipal Code. Upon the approval of such deviation, the project will fully comply with the regulations of the Land Development Code.

Supplemental Site Development Permit Findings--Environmentally Sensitive Lands

- 1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;**

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan.

The proposed development would result in impacts to 0.07 acres of Diegan coastal sage scrub (Tier II), in addition to 3.0 acres of impacts to developed areas of the site that are not considered sensitive. These impacts would not require mitigation, in accordance with the requirements of the MSCP and the Biology Guidelines. The proposed project impacts to habitat would be less than significant and none of the project features would directly impact any City wetlands. As such, the proposed buildings are sited in an appropriate location that is best physically suitable for development.

- 2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;**

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed buildings are sited in an appropriate location that will not result in undue risk from geologic and erosional forces, flood hazards or fire hazards.

- 3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;**

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed project would result in impacts to 0.07 acres of Diegan coastal sage scrub (Tier II), in addition to 3.0 acres of impacts to developed areas of the site that are not considered sensitive. These impacts would not require mitigation, in accordance with the requirements of the MSCP and the Biology Guidelines. The proposed project impacts to habitat would be less than significant and none of the project features would directly impact

any City wetlands. As such, the proposed buildings are sited in an appropriate location that is the least impact on environmentally sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed project would result in impacts to 0.07 acres of Diegan coastal sage scrub (Tier II), in addition to 3.0 acres of impacts to developed areas of the site that are not considered sensitive. These impacts would not require mitigation, in accordance with the requirements of the MSCP and the Biology Guidelines. The proposed project impacts to habitat would be less than significant and none of the project features would directly impact any City wetlands. As such, the proposed development will be fully consistent with the City of San Diego's MSCP Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. The proposed development includes a number of best management practices (BMPs) that will be implemented both pre-and post-construction to reduce water onto the adjacent properties. The project isn't located near any public beaches or the local shoreline. As such, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The proposed development is to demolish portions of the existing building on site, retaining the nave portion of the existing chapel that will be incorporated into the wellness center and construction of a 40,000 square foot urgent care facility and an 11,500 square foot wellness center on an existing 4.45 acre site located at 12855 Black Mountain Road, east of Black Mountain Road and south of State Route 56, within the Rancho Peñasquitos Community Plan. All mitigation measures identified within the Mitigated Negative Declaration (MND) have been incorporated into the permit conditions for the proposed development. The proposed development's mitigation measures reduce the impact of the proposed project to below a level of significance in all areas. As such, all mitigation reasonably related to and calculated to alleviate negative impacts created by the proposed development has been incorporated into the permit conditions for the proposed development.

ATTACHMENT 8

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 447403 and Planned Development Permit No. 447402 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 447403 and 447402, a copy of which is attached hereto and made a part hereof.

Laura C. Black, AICP
Development Project Manager
Development Services

Adopted on: April 9, 2009

Job Order No. 42-7821

cc: Legislative Recorder, Development Services Department

Rezone Ordinance

(O-INSERT~)

ORDINANCE NUMBER O-_____ (NEW SERIES)

ADOPTED ON _____

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SAN DIEGO CHANGING 4.45 ACRES LOCATED AT 12855 BLACK MOUNTAIN ROAD, WITHIN THE RANCHO PENASQUITOS COMMUNITY PLAN AREA, IN THE CITY OF SAN DIEGO, CALIFORNIA, FROM THE RS-1-14 ZONE INTO THE IL-3-1 ZONE, AS DEFINED BY SAN DIEGO MUNICIPAL CODE SECTIONS 131.0403 AND 131.0603; AND REPEALING ORDINANCE NO. INSERT~ (NEW SERIES), ADOPTED DATE-call City Clerk for **adopted** dated~, OF THE ORDINANCES OF THE CITY OF SAN DIEGO INSOFAR AS THE SAME CONFLICT-HEREWITH.

WHEREAS, under Charter section 280(a)(2) this ordinance is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on evidence presented; NOW, THEREFORE,

BE IT ORDAINED, by the Council of the City of San Diego, as follows:

Section 1. That 4.45 acres located at 12855 Black Mountain Road and legally described as Parcel 2 of Map No. 14569, in the Rancho Penasquitos Community Plan area, in the City of San Diego, California, as shown on Zone Map Drawing No. B-4276 filed in the office of the City Clerk as Document No. OO- _____, is rezoned from the RS-1-14 Zone into the IL-3-1 Zone as the zone is described and defined by San Diego Municipal Code Chapter 13 Article 1

ATTACHMENT 9

Division 6. This action amends the Official Zoning Map adopted by Resolution R-301263 on February 28, 2006.

Section 2. That Ordinance No. (New Series), adopted April 9, 2009, of the ordinances of the City of San Diego is repealed insofar as the same conflict with the rezoned uses of the land.

Section 3. That a full reading of this ordinance is dispensed with prior to its final passage, a written or printed copy having been available to the City Council and the public a day prior to its final passage.

Section 4. This ordinance shall take effect and be in force on the thirtieth day from and after its passage, and no building permits for development inconsistent with the provisions of this ordinance shall be issued unless application therefore was made prior to the date of adoption of this ordinance.

APPROVED: JAN GOLDSMITH, City Attorney

By _____
Attorney name
Deputy City Attorney

LCB
April 9, 2009
Or.Dept: INSERT~
Case No.INSERT PROJECT NUMBER~
O-INSERT~
Form=inloto.frm(61203wct)

ATTACHMENT 10

(R-2002-INSERT)

RESOLUTION NUMBER R-_____

ADOPTED ON _____

WHEREAS, on _____, the City Council of the City of San Diego held a public hearing for the purpose of considering an amendment to the Progress and Guide and General Plan and the Rancho Penasquitos Community Plan; and

WHEREAS, Palomar Pomerado Health (PPH), Michael H. Covert, requested an amendment to the Progress Guide and General Plan and the Rancho Penasquitos Community Plan to designate the site located at 12855 Black Mountain Road, from Religious Facility to General Institutional, the site is legally described as Parcel 2 of Map No. 14569, City of San Diego, County of San Diego, State of California; and

WHEREAS, City Council Policy 600-7 provides that public hearings to consider revisions to the Progress Guide and General Plan for the City of San Diego may be scheduled concurrently with public hearings on proposed community plans in order to retain consistency between said plans and the Planning Commission has held such concurrent public hearings; and

WHEREAS, the Planning Commission of the City of San Diego found the proposed amendment consistent with the Progress Guide and General Plan; and

WHEREAS, the Council of the City of San Diego has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; NOW, THEREFORE,

BE IT RESOLVED, by the Council of The City of San Diego, that it adopts the amendments to the Rancho Penasquitos Community Plan, a copy of which is on file in the office of the City Clerk as Document No. RR-_____.

ATTACHMENT 10

BE IT FURTHER RESOLVED, that the Council adopts and amendment to the Progress Guide and General Plan for the City of San Diego to incorporate the above amended plan.

APPROVED: JAN GOLDSMITH, City Attorney

By _____

Deputy City Attorney

LCB

April 9, 2009

Or.Dept:DSD

R-2002- INSERT

Form=r-t.frm(61203wct)

**Key –Strike-out/Underline Version
Palomar Pomerado Health
Community Plan Amendment**

~~Red Strikeout~~-Deletions from Text/Graphics for Health Clinic and Wellness Center and Staff Recommended Changes

Blue Underline-Additions to Text/Graphics for Health Clinic and Wellness Center

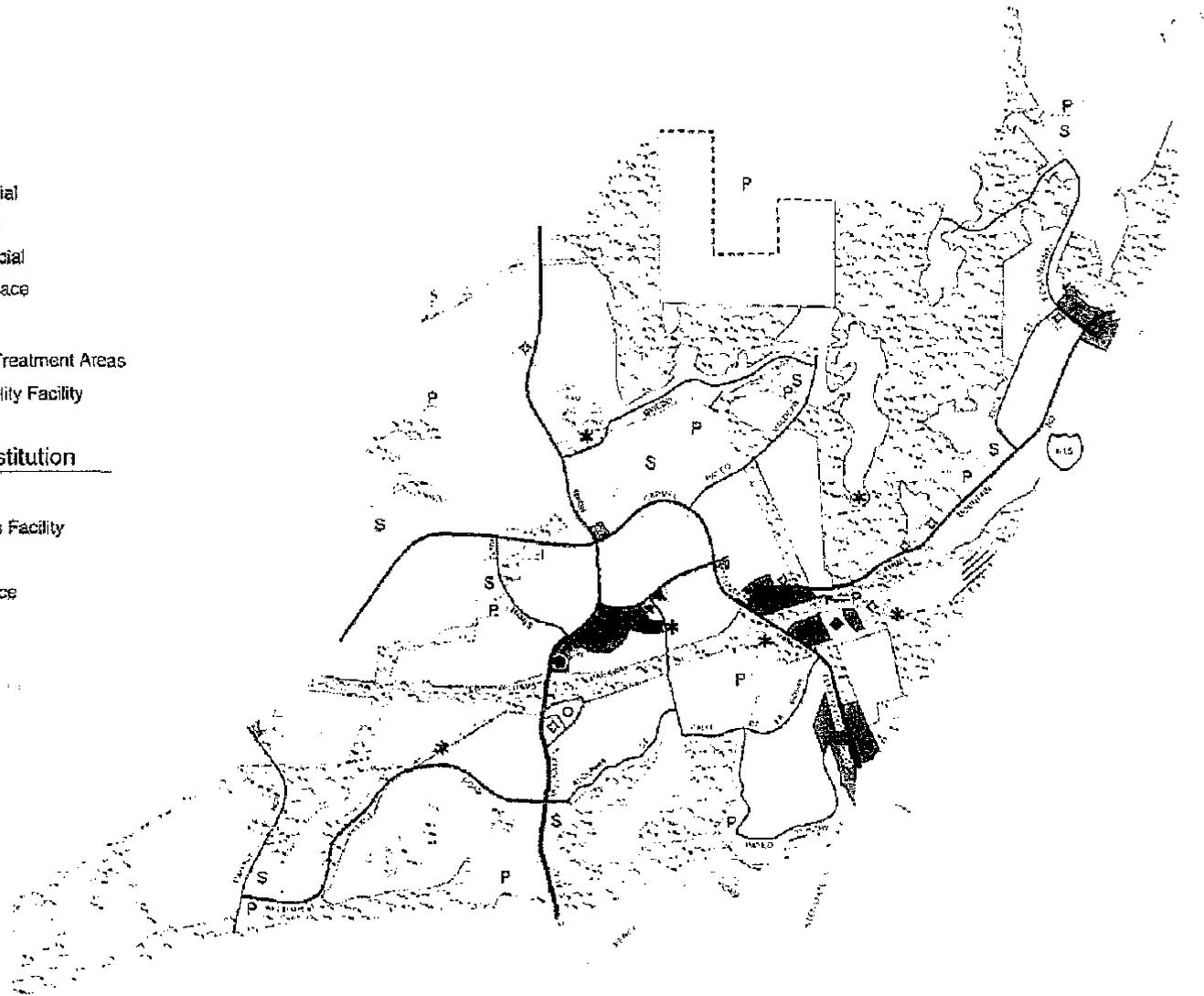
Green Underline-Proposed City Staff Recommended Changes Unrelated to Health Clinic and Wellness Center

- Residential
- Industrial
- Commercial
- Open Space

- P Parks
- * Special Treatment Areas
- ◆ Major Utility Facility

General Institution

- S Schools
- ◇ Religious Facility
- Library
- Post Office
- ★ Police
- ▲ Fire
- City Center



Land Use Map **4**
 Rancho Peñasquitos Community Plan FIGURE



**TABLE 1
RECOMMENDED LAND USE ALLOCATIONS**

LAND USE	ACRES	PERCENT
<u>Residential</u>		
Very Low-Density Residential (0-1*)	175+/-	2.7
Low-Density Residential (1-5**)	2,873+/-	43.9
Low-Medium-Density Residential (5-10**)	150+/-	2.3
Medium-Density Residential (10-22**)	134+/-	2.0
Medium-High Density (22-45**)	8+/-	0.1
SUBTOTAL	3,340	51.3
<u>Commercial/Industrial</u>		
Neighborhood Commercial	17+/-	0.3
Community Commercial	52+/-	0.8
General Commercial	50 +/-	0.8
Commercial Recreation	9+/-	0.1
Industrial (Recreational Vehicle and Mini-Storage)	10+/-	0.1
SUBTOTAL	128 138***	2.0 2.1
<u>Parks/Open Space</u>		
Industrial (Recreational Vehicle and Mini-Storage)	10+/-	0.1
Neighborhood Parks	57+/-	0.9
Community Parks	53+/-	0.7
Black Mountain Park/Open Space	480+/-	7.4
Small Parks/Special Treatment Areas	12+/-	0.2
Golf Course	121+/-	1.9
Open Space	1,525+/-	23.4
SUBTOTAL	2,258 2,248	34.6 35
<u>General Institutional</u>		
Schools	130+/-	2.0
Religious Facility	32 38+/-	0.5 0.4
Civic Buildings (Fire, Library, Post Office, etc)	8+/-	0.1
Health Clinic & Wellness Center	4+/-	0.1
SUBTOTAL	170	2.6
<u>Miscellaneous</u>		
Utilities and Easements	165+/-	2.5
Streets and Other Public Rights-of-Way	450+/-	7.0
SUBTOTAL	615	9.5
TOTAL	6,511+/-	100.0

*DU/ACRE=Dwelling units per acre

**DU/DA=Dwelling units per developable acre

***31 acres have been developed residentially.

RIDGEWOOD

The Ridgewood neighborhood is located in the south-central portion of the community, west of I-15. It is served by Rancho Peñasquitos Boulevard on the north east and Black Mountain Road on the west. State Route 56 is situated to the north with Salmon River Road providing access to the community facilities in the Town Center development area and to the south lies Peñasquitos Canyon and the Mira Mesa community. Salmon River Road provides access to the community facilities in the Town Center development area. The land area is totally developed with approximately 1,513 single-family units and 426 multifamily units. The neighborhood is proposed as predominately single-family in nature. Recommended uses other than residential include general commercial development along Rancho Peñasquitos Boulevard and one religious facility site off Black Mountain Road. Adjacent to the religious facility is a health clinic and wellness center. In addition, two neighborhood parks (Ridgewood and Views West) are located recommended for development in the central portion of the neighborhood.

Safe and convenient pedestrian access to commercial facilities south of Rancho Peñasquitos Boulevard and to the proposed neighborhood parks in the Ridgewood neighborhood should be provided. Noise attenuation barriers should be provided to mitigate noise impacts from SR-56 on adjacent residential development.

Since the southern portion of this neighborhood lies adjacent to the Los Peñasquitos Canyon Preserve, care must be taken to ensure that the interface between existing or proposed development (whether residential, park, trails or other use) and the preserve remain as nonintrusive as possible. In particular, the use of native plant species should be encouraged in these areas; non-natives are discouraged and invasive species should be removed. Wildlife corridors must remain wide, provide adequate cover and be protected from excessive noise, night lighting and domestic animals.

The proposed vehicular, bicycle and pedestrian routes discussed in the **Transportation Element** are important in adequately linking Ridgewood with community facilities.

YMCA

~~In January 1995, the YMCA of San Diego County opened the "Rancho Family YMCA" plans to construct a Teen and Recreation Center in the Rancho Peñasquitos Town Center. Facilities were added to the center when an expansion was completed in 2000. These facilities will provide both indoor and outdoor recreation opportunities for Rancho Peñasquitos residents and will supplement the public park and recreation needs of the community.~~

Health Care Services

~~Most of the health care services needs of the Rancho Peñasquitos community are currently met by facilities in Escondido, Poway and the north-central portion of the City of San Diego. The community can be expected to be adequately served in the future, in regards to diagnosis and treatment services, emergency medical service, mental health services and long-term care services. However, some consideration should be given to a community health clinic, centrally located in Rancho Peñasquitos, to serve the North City area. This clinic could provide community health education and information services, as well as operate as a center for prevention and detection services provided by the county. An area located south of State Route 56 and east of Black Mountain Road is designated as "General Institutional", which allows for a health clinic and related uses. This facility will offer community health education and information services and operate as a center for prevention and detection services. Limited emergency, diagnosis and treatment services will also be available, could be possible. The clinic could use existing buildings, such as schools or the golf course complex, to provide intermittent services, or it could be housed in rented facilities in commercial office space on an interim or permanent basis.~~

~~in addition, other possible locations for a clinic include existing buildings such as schools or the golf course complex, to provide intermittent services or it could be housed in rented facilities in commercial office space on an interim or permanent basis.~~

Utilities

Utilities in the Rancho Peñasquitos community include water provided by the City of San Diego, storm and sanitary sewers maintained by the City and gas and electricity supplied by the SDG&E Company. Advance planning is ongoing to ensure that adequate utility capacities are available to accommodate the community growth proposed in this Plan. The present practice of undergrounding all service distribution lines should be continued, as called for in Council Policy 600-10. Similarly, City efforts to mandate the use of reclaimed water shall be continued, as set forth in Council Ordinance 0-17327.

At this time, the Peñasquitos Trunk Sewer is approaching its ultimate capacity. Any future developments in this area which would discharge sewage into the Peñasquitos Trunk Sewer may have limited connections.

The two viable alternatives for upgrading the Peñasquitos Trunk Sewer are:

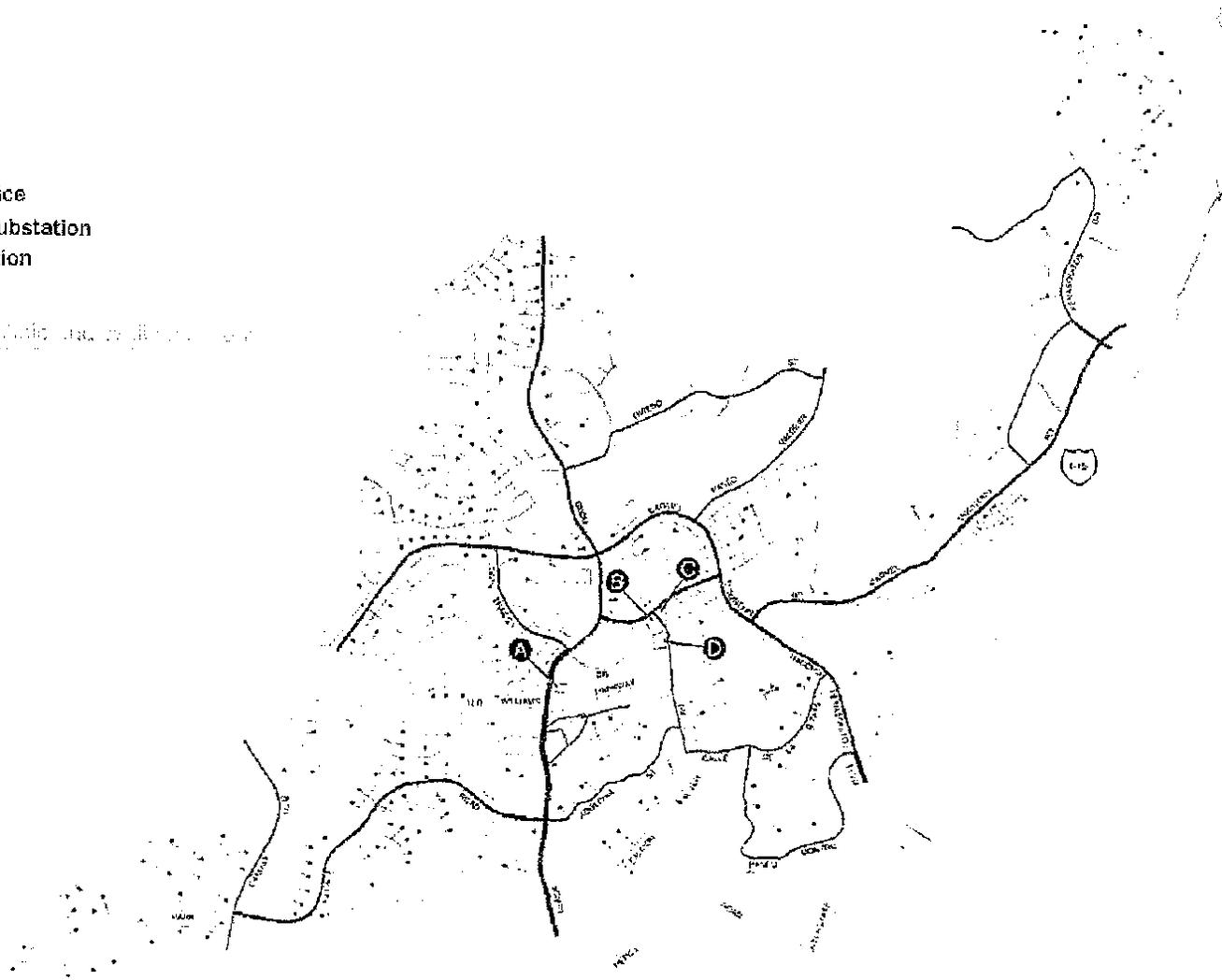
- Construct a second parallel interceptor gravity sewer in the canyon.

- Construct a pump station at Poway Road and I-15 or at Black Mountain Road and Mercy Road to divert the flow through Black Mountain Road south to Miramar Road and then west to the future North City Plant proposed by the Clean Water Program.

In addition to this interceptor, the Carmel Valley Trunk Sewer is proposed for rehabilitation. The trunk sewer traverses the City's Future Urbanizing Area to the west of Ranch Peñasquitos and terminates at the western boundary of the Bluffs Neighborhood.

- A** Post Office
- B** Police Substation
- C** Fire Station
- D** Library

Legend: (Symbol) = Location of Public Facility



Public Facilities and Services
Rancho Peñasquitos Community Plan **35**
 FIGURE

Recreational Programs and Facilities

Both private and public recreational programs and facilities are encouraged, as described in the **Parks and Recreation Element**. Recreational programs should consider overall community requirements as well as serving individual neighborhood and target group needs.

A senior center should be sited in the community center or in a community recreation center or teen center.

The major community recreation building proposed for the Hilltop Community Park should develop a range of recreational programs for children, youths, adults and the elderly, as well as provide meeting space for community groups. Sports leagues and scout programs should be provided.

Civic Activities and Buildings

Continuation of activities by the planning board, other civic groups and renter and neighborhood association is essential. These organizations allow residents to participate in decision-making for their community or neighborhood. Participation is also encouraged in the planning and decision-making activities and community relations programs of public and semipublic service agencies, such as the Poway Unified School District, Palomar Pomerado Health, and the San Diego Police Department.

Religious Groups and Buildings

~~Eight~~ Seven religious institutional sites from three to seven acres in size are designated in the Plan. Other sites may be designated in residential or commercial zones as the community grows. Plans for religious building development should provide for adequate landscaping and maintenance, and sufficient parking so as not to disrupt surrounding uses. Religious facilities are encouraged to offer meeting rooms, develop day care programs, set up children and teen recreational and educational activities and provide supportive care for individual community members, as well as conduct religious activities.

Public Services

The establishment and operation of social services funded partially or fully by the public is recommended when needed by the community. Such services may include emergency hotlines, health and mental health services, youth employment programs, dial-a-ride and carpool matching and other similar services. These programs may use the community facilities outlined above or rented space in commercial centers.

Self-Organized Activities and Facilities

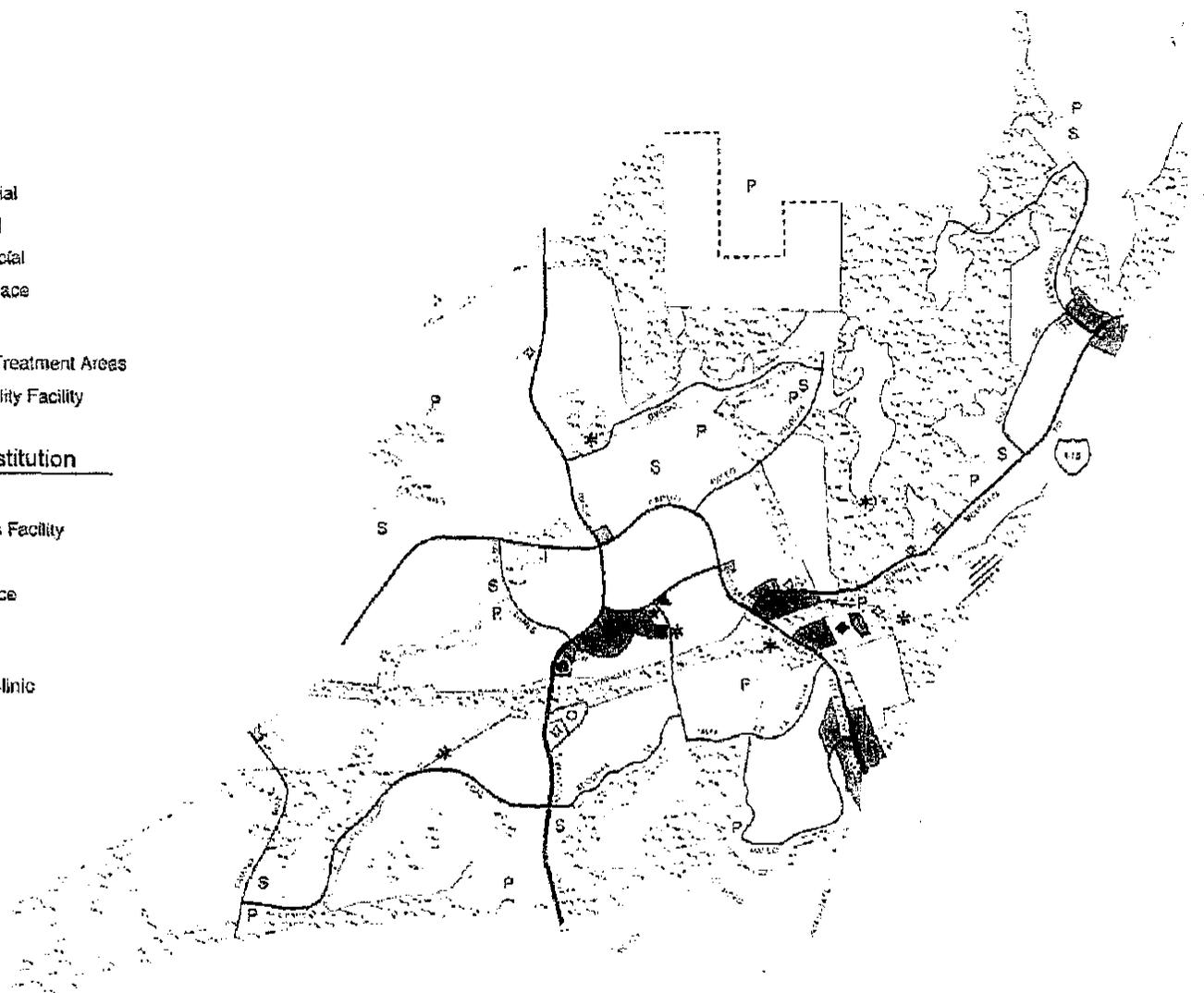
The community currently supports few formal self-organized activities and services. Such programs can be organized and managed by community residents to serve their own needs. Opportunities for self-organized activities and facilities included such things as neighborhood gardens, cultural events, cooperatives, communitywide events and development corporations.

Recreational Programs and Facilities

Palomar Pomerado Health
Community Plan Amendment

Final Version (Without Strike-out/Underline)

- Residential
 - Industrial
 - Commercial
 - Open Space
 - P Parks
 - * Special Treatment Areas
 - ◆ Major Utility Facility
- General Institution**
- S Schools
 - ◇ Religious Facility
 - ▣ Library
 - Post Office
 - ★ Police
 - ▲ Fire
 - Health Clinic



Land Use Map **4**
 Rancho Peñasquitos Community Plan **FIGURE**

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Medium-Density Residential (10-22**)	134+/-	2.0
Medium-High Density (22-45**)	8+/-	0.1
SUBTOTAL	3,340	51.3
Commercial/Industrial		
Neighborhood Commercial	17+/-	0.3
Community Commercial	52+/-	0.8
General Commercial	50 +/-	0.8
Commercial Recreation	9+/-	0.1
Industrial (Recreational Vehicle and Mini-Storage)	10+/-	0.1
SUBTOTAL	138***	2.1
Parks/Open Space		
Neighborhood Parks	57+/-	0.9
Community Parks	53+/-	0.7
Black Mountain Park/Open Space	480+/-	7.4
Small Parks/Special Treatment Areas	12+/-	0.2
Golf Course	121+/-	1.9
Open Space	1,525+/-	23.4
SUBTOTAL	2,248	34.5
General Institution		
Schools	130+/-	2.0
Religious Facility	28+/-	0.4
Civic Buildings (Fire, Library, Police, etc.)	8+/-	0.1
Health Clinic & Wellness Center	4+/-	0.1
SUBTOTAL	170	2.6
Miscellaneous		
Utilities and Easements	165+/-	2.5
Streets and Other Public Rights-of-Way	450+/-	7.0
SUBTOTAL	615	9.5
TOTAL	6,511+/-	100.0

*DU/ACRE=Dwelling units per acre.

**DU/DA=Dwelling units per developable acre

***31 acres have been developed residentially.

Residential

 Low Density

 Medium Density

Commercial

 General Commercial

Education

 Canyonview Elementary School

General Institution

 Religious Facilities

 Health Clinic and Wellness Center

Recreation

 Open Space

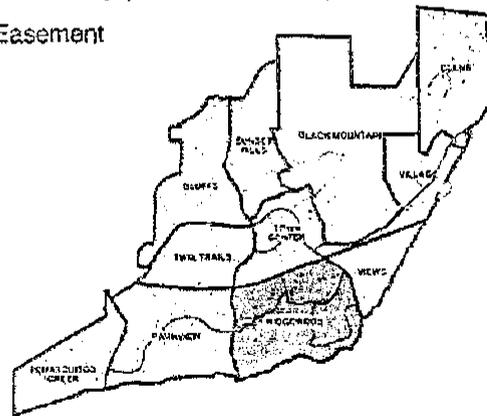
 1 Ridgewood Neighborhood Park

 2 View West Neighborhood Park

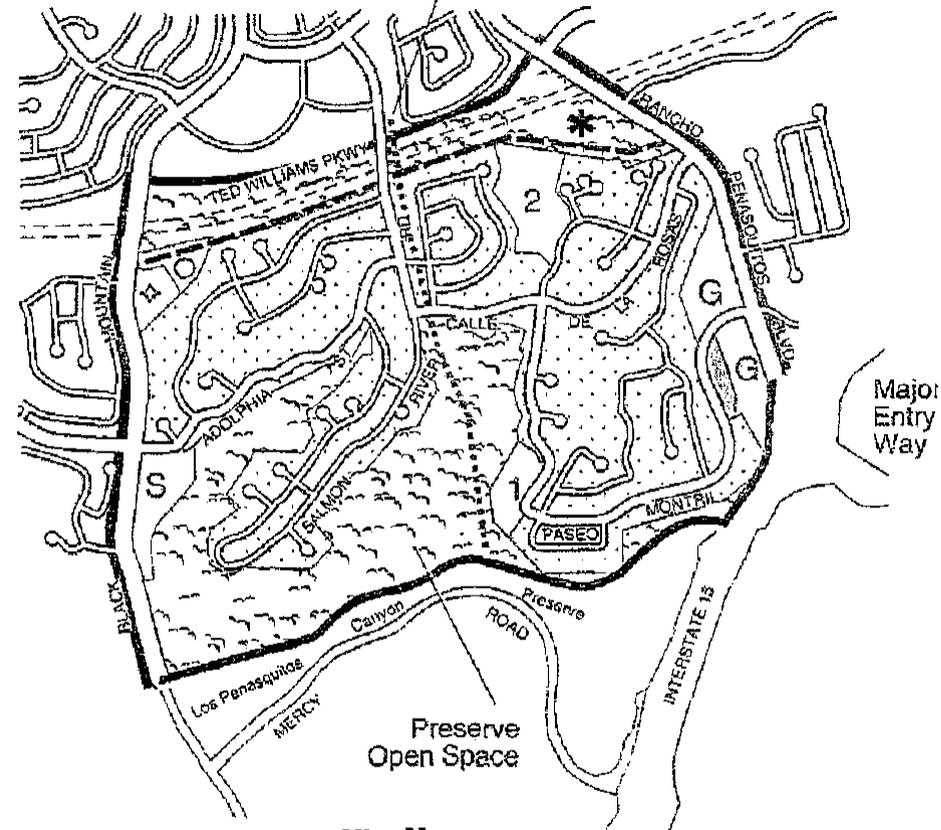
 * Special Treatment Area

 Pedestrian Pathway (SDCW Easement)

 SDG&E Easement



Develop and Preserve Access to Pedestrian Pathway



Mira Mesa Planning Area

Ridgewood **18**
Rancho Peñasquitos Community Plan **FIGURE**

RIDGEWOOD

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Since the southern portion of this neighborhood lies adjacent to the Los Peñasquitos Canyon Preserve, care must be taken to ensure that the interface between existing or proposed development (whether residential, park, trails or other use) and the preserve remain as nonintrusive as possible. In particular, the use of native plant species should be encouraged in these areas; non-natives are discouraged and invasive species should be removed. Wildlife corridors must remain wide, provide adequate cover and be protected from excessive noise, night lighting and domestic animals.

The proposed vehicular, bicycle and pedestrian routes discussed in the **Transportation Element** are important in adequately linking Ridgewood with community facilities.

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In January 1995, the YMCA of San Diego County opened the “Rancho Family YMCA” in the Rancho Peñasquitos Town Center. Facilities were added to the center when an expansion was completed in 2000. These facilities provide both indoor and outdoor recreation opportunities for Rancho Peñasquitos residents and supplement the public park and recreation needs of the community.

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In addition, other possible locations for a clinic include existing buildings such as schools or the golf course complex, to provide intermittent services or it could be housed in rented facilities in commercial office space on an interim or permanent basis.

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- Construct a pump station at Poway Road and I-15 or at Black Mountain Road and Mercy Road to divert the flow through Black Mountain Road south to Miramar Road and then west to the future North City Plant proposed by the Clean Water Program.

In addition to this interceptor, the Carmel Valley Trunk Sewer is proposed for rehabilitation. The trunk sewer traverses the City’s Future Urbanizing Area to the west of Ranch Peñasquitos and terminates at the western boundary of the Bluffs Neighborhood.

Both private and public recreational programs and facilities are encouraged, as described in the **Parks and Recreation Element**. Recreational programs should consider overall community requirements as well as serving individual neighborhood and target group needs.

A senior center should be sited in the community center or in a community recreation center or teen center.

The major community recreation building proposed for the Hilltop Community Park should develop a range of recreational programs for children, youths, adults and the elderly, as well as provide meeting space for community groups. Sports leagues and scott programs should be provided.

Civic Activities and Buildings

Continuation of activities by the planning board, other civic groups and renter and neighborhood association is essential. These organizations allow residents to participate in decision-making for their community or neighborhood. Participation is also encouraged in the planning and decision-making activities and community relations programs of public and semipublic service agencies, such as the Poway Unified School District, Palomar Pomerado Health and the San Diego Police Department.

Religious Groups and Buildings

Seven religious institutional sites from three to seven acres in size are designated in the Plan. Other sites may be designated in residential or commercial zones as the community grows. Plans for religious building development should provide for adequate landscaping and maintenance, and sufficient parking so as not to disrupt surrounding uses. Religious facilities are encouraged to offer meeting rooms, develop day care programs, set up children and teen recreational and educational activities and provide supportive care for individual community members, as well as conduct religious activities.

Public Services

The establishment and operation of social services funded partially or fully by the public is recommended when needed by the community. Such services may include emergency hotlines, health and mental health services, youth employment programs, dial-a-ride and carpool matching and other similar services. These programs may use the community facilities outlined above or rented space in commercial centers.

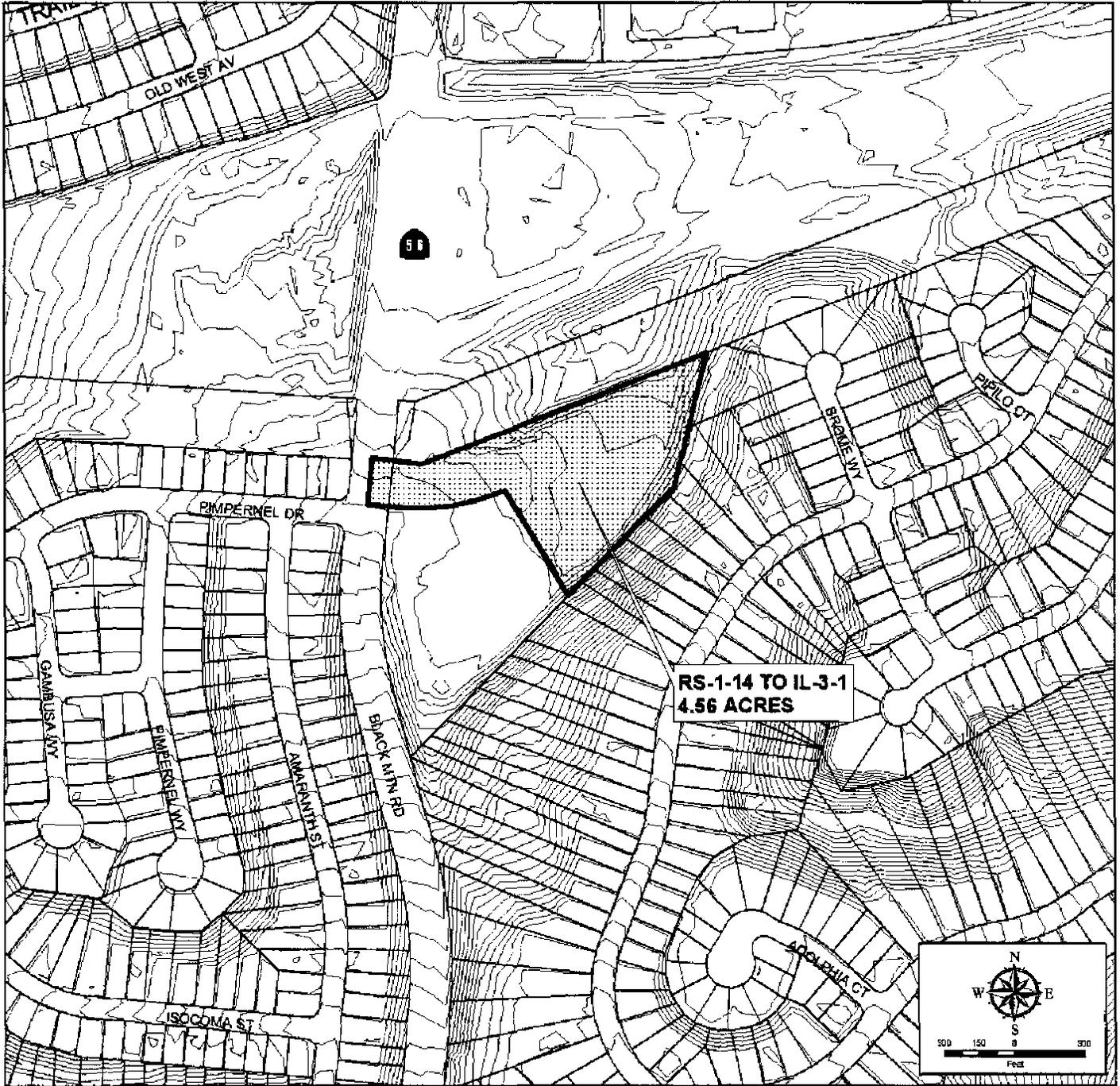
Self-Organized Activities and Facilities

The community currently supports few formal self-organized activities and services. Such programs can be organized and manage by community residents to serve their own needs. Opportunities for self-organized activities and facilities included such things as neighborhood gardens, cultural events, cooperatives, communitywide events and development corporations.



CITY OF SAN DIEGO • DEVELOPMENT SERVICES

PROPOSED REZONING



PAR 2 (EX ST), PM 14569

ORDINANCE NO. _____
 EFF. DATE ORD. _____
 ZONING SUBJ. TO _____
 BEFORE DATE _____
 EFF. DATE ZONING _____
 MAP NAME AND NO. _____

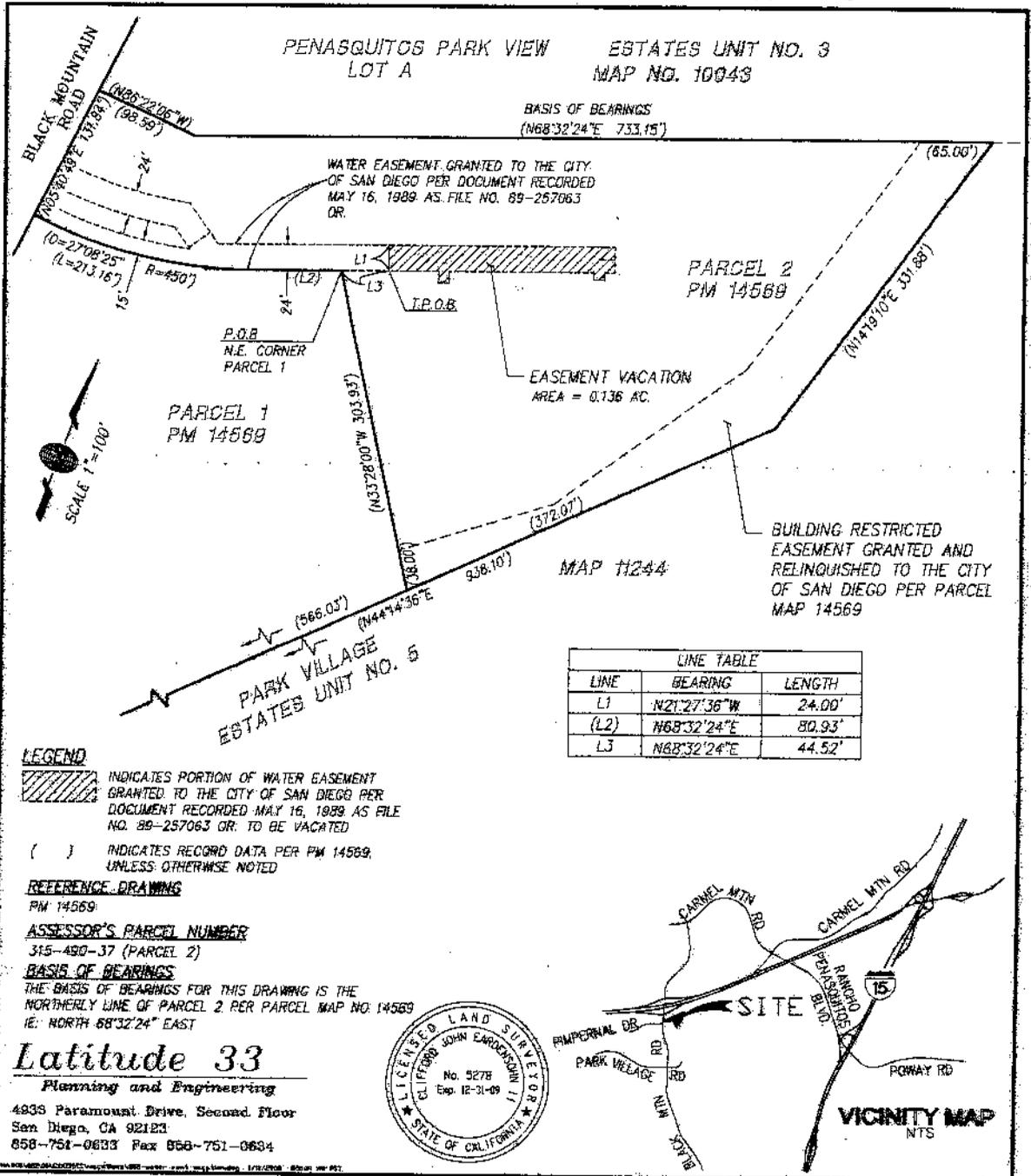
REQUEST IL-3-1
 PLANNING COMM.
 RECOMMENDATION
 CITY COUNCIL
 ACTION

CASE NO. 42-7821

Steve Black
 DEVELOPMENT SERVICES MANAGER

B-4276

APN: 315-490-37
 (286-1728) 03-02-09 ldj



LINE TABLE

LINE	BEARING	LENGTH
L1	N21°27'36"W	24.00'
(L2)	N68°32'24"E	80.93'
L3	N88°32'24"E	44.52'

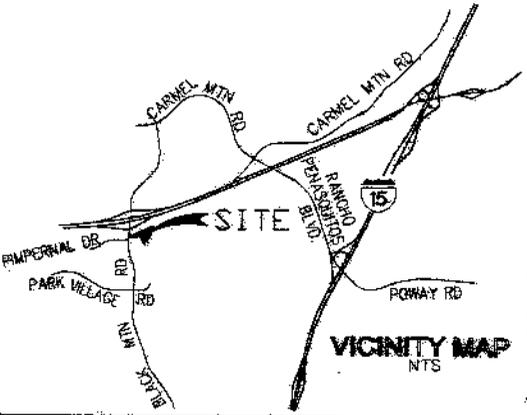
LEGEND

- INDICATES PORTION OF WATER EASEMENT GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT RECORDED MAY 16, 1989 AS FILE NO. 89-257063 GR. TO BE VACATED
- () INDICATES RECORD DATA PER PM 14569, UNLESS OTHERWISE NOTED

REFERENCE DRAWING

PM 14569
ASSESSOR'S PARCEL NUMBER
 315-490-37 (PARCEL 2)
BASIS OF BEARINGS
 THE BASIS OF BEARINGS FOR THIS DRAWING IS THE NORTHERLY LINE OF PARCEL 2 PER PARCEL MAP NO. 14569 IE: NORTH 68°32'24" EAST

Latitude 33
 Planning and Engineering
 4936 Paramount Drive, Second Floor
 San Diego, CA 92123
 658-751-0633 Fax 658-751-0634



10
11
12
13

John Eardensohn 5/19/08 DATE
 JOHN EARDENSOHN L.S. 5278
 REGISTRATION EXPIRES 12-31-09

WATER EASEMENT VACATION
 IN PARCEL 2 OF PM 14569

DESCRIPTION	BY	APPROVED	DATE	FILMED	CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES CENTER SHEET 1 OF 1 SHEET	PTS NO. 129854 J.D. NO. 427821 1926-6289 CCS '83 COORDINATES 286-1728 LAMBERT COORDINATES
ORIGINAL	LA133	<i>[Signature]</i>	6/08			

EXHIBIT "A"

LEGAL DESCRIPTION
WATER MAIN EASEMENT VACATION

THAT PORTION OF AN EXISTING WATER EASEMENT GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT NO. 89-257063, RECORDED MAY 16, 1989 OFFICIAL RECORDS WITHIN PARCEL 2 OF PARCEL MAP NO 14569 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, LYING EASTERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE NORTHEAST CORNER OF PARCEL 1 OF SAID PARCEL MAP, SAID POINT BEING ALSO THE EASTERLY TERMINUS OF A COURSE NORTH 68°32'24" EAST, 80.93 FEET ON THE NORTHERLY LINE OF SAID PARCEL 1; THENCE CONTINUING ALONG SAID COURSE NORTH 68°32'24" EAST, 44.52 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTHERLY AT RIGHT ANGLE FROM SAID LAST COURSE NORTH 21°27'36" WEST, 24.00 FEET TO THE NORTHERLY LINE OF SAID WATER EASEMENT AND POINT OF TERMINUS.

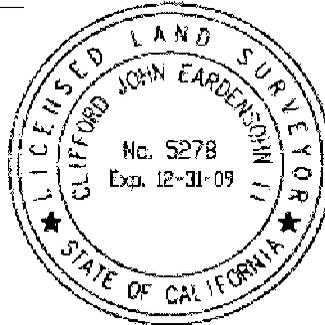


C. JOHN EARDENSOHN LS 5278
My Registration Expires 12-31-09



DATE

FILE: PTS 129854
JO 427821
DRAWING 20719-B





Rancho Peñasquitos Planning Board Meeting Minutes

June 4, 2008

Attendees: Dan Barker, Jon Becker, Joost Bende, Bill Diehl, Sudha Garudadri, Wayne Kaneyuki, John Keating, Pamela Kelly, Jim LaGrone, Lynn Murphy, Jeanine Politte, Keith Rhodes, Charles Sellers, Mike Shoecraft, Dennis Spurr

Absent:

Community Members & Guests (Voluntary Sign-in): John Spelta, Tuesdee Halperin, Scot Sandstrom, Bill Dumka, Patrick & Karen Clemes, Pam Blackwill, George Fredha, Greg Parks, Glenn Hirashiki, Dominick Vacante, Janell Young, Stephen Egbert.

1. The meeting was called to order at 7:35 pm at the Doubletree Golf Resort located at 14455 Peñasquitos Drive, San Diego, California 92129. A Quorum was present.
2. Agenda Modifications: Change order of new business to: PPH Community Wellness Campus, Verizon Wireless Carmel Resort followed by Rancho Peñasquitos Pump Station.
3. MINUTES:
 - Motion to approve the May 7, 2008 Rancho Peñasquitos Planning Board Meeting minutes as presented. M/S/C - Bende/Diehl/Approved 12-0-1 abstention (Shoecraft).
4. Guests:
 - a. none
5. NON-AGENDA, PUBLIC COMMENTS:
 - a. Torrey Brooke II – Karen Clemes, a neighbor to proposed infill project who spoke on behalf of her neighbors in attendance, asked to be on the July agenda. Torrey Brooke II is scheduled to go to the planning commission Thursday June 5th, 2008 and they have contacted the Project Manager, Derrick Johnson, to request a continuance to allow them time to review & prepare to bring their concerns before RPPB. They have hired a consultant, Paul Metcalf, to review proposed project and at this time have the following key concerns:
 - i. Failure to give proper notice of project and involve the neighbors in planning.
 - ii. Concerns about fill that was dumped on property, and brought before RPPB March 22, 2002 by Janelle Young have still not been totally remedied which potentially could raises the pad elevation of proposed homes higher than it was initially.
 - iii. Massing & design issues - project homes are too large for lot size, are 3 stories, set backs are too small, lack of design guidelines or any specific architecture proposed in the staff report.
 - iv. Planning Group Questions:
 - Becker inquired if the group felt there was a code compliance issue. Clemes stated that their consultant had visited the property and shocked that no citations had been given for the dirt pile that still remained.
 - No one responded when Sellers asked if a representative from the developer was present.
 - Becker noted from the September 5th RPPB meeting minutes that the homes would be limited to 28' in height and Clemes stated that their consultant had concerns that the plan description contained very little detail.

- Sellers confirmed with Clemes that the project manager and developer are aware their group will be attending the Planning Commission meeting to ask for the continuance, which she agreed. He also stated that RPPB acted in good faith and the developer believes they acted in good faith - the item will probably be pulled from the docket to allow all parties to work together and remedy concerns of the neighbors.
- Keating asked for clarification of the grounds for continuance. Clemes stated lack of notice, due process, good planning reflects community and look of neighborhood, good faith. Sellers stated that the developer would need to prove to the city that notice had been sent to the neighbors and if not, the reason. Politte will check internal emailed meeting notices and the City website for the agendas and minutes from August & September 2007.
- Sellers will send email concerning "Notice," copy to Griswold. He asked Clemes to email him to formally request being added to the July agenda after the Planning Commission meeting actions on June 5th.

(see attached handouts distributed by K. Clemes)

(** See RPPB minutes for project approval 9/5/07.)

- b. Sherri Lightner, in her introduction as the current front runner for Council District 1 seat, thanked those who voted for her and looked forward to meeting with attendees.
- c. Bill Diehl announced that the Rancho Peñasquitos Fireworks, presented by Park & Rec, would be July 3rd this year at Westview High School.

6. ANNOUNCEMENTS & INFORMATION ITEMS:

- a. San Diego City Council District 1 Report – Madeleine Baudoin - none
- b. San Diego City Planning & Community Investment Report – Tim Nguyen introduced himself, the new Associate Planner for RPPB; he looks forward to working with the members and the community.

7. BUSINESS.

- a. **PPH Community Wellness Campus** – Becker summarized prior LUC & regular RPPB meetings with PPH representatives and a sub-committee to resolve concerns. The following motion and conditions were recommended and approved 5-0-0 by the LUC on 6/4/08. Bende read the motion for the record. Note that Keating is recusing himself due to conflict.

Motion: To recommend approval of the PPH Medical Office Building and Community Wellness Center Project at Black Mountain Road in the Rancho Peñasquitos Community and the accompanying Rancho Peñasquitos Community Plan Amendment, Rezone, PDP, SDP, and Water Easement Abandonment with the following conditions:

- 1) Conditional use of medical / clinical office building and community wellness center, and parking, including accessory uses such as a café and pharmacy.
- 2) Condition: Site specific height limit of 42'-0"
- 3) Condition: Site irrigation system shall be connected to City of San Diego recycled waterlines accessible in the right-of-way on Black Mountain Road.
- 4) Condition: Site shall not be used for any commercial wireless facilities, except for communication devices for the private use of the PPH system.
- 5) Board strongly encourages applicant to attain USGBC's LEED Silver for New Construction.
- 6) Applicant shall provide intended TI plans for Community Wellness Center for RPPB records.



- 7) Applicant shall provide sign package for project for RPPB records.
8) FBA fees shall be charged at the Commercial Rate not Hospital Rate.
9) Condition: PPH shall provide irrigation and landscaping to the city right-of-way north of property line to SR56.
10) All conditions above shall be recorded with the project and the land at the City and County offices.

M/S/C – Bende/Becker / Discussion.

Discussion/Comments:

- i. La Grone expressed concerns about north bound Black Mtn. Rd. backup during peak weekday hours. Keating noted that PPH services offered would reduce peak hour trips compared to the school that was on site. It was also noted that periodically LDS members have been seen running out onto Black Mtn. Rd. to stop traffic and allow churchgoers to egress said property; a city permit is needed to allow this. Bende added that there is 12' of irrevocable land available north of the driveway to widen Black Mtn. Rd. in the future if it is needed.
- ii. Kaneyuki agreed that approval be contingent that future owners/development abide by the approved conditions as recorded with the City & County records.
- iii. Kelly was concerned that groups, ie. Scouts, etc. may need to change their practices in regards to any activities and before/after gatherings where youth may be in the parking lot. Bende added that the driveway was expanded to 30' and striping in the parking lots would differentiate the areas of the lots.
- iv. Spurr asked if PPH has contacted MCAS Miramar about noise impacts. Mike Shanahan, PPH, stated that they had contacted MCAS and they are aware of the planned facility, noting there should be no effect during normal business hours. Bende added that the northern edge of MCAS Miramar area of influence ends approximately at the creek that runs through Peñasquitos Preserve. Rich Miller, PPH, also added the Mitigated Negative Declaration covers Miramar.
- v. Kaneyuki asked if there has been any neighborhood opposition to the plans. Mike Shanahan said the neighbors were noticed around May 1st, 2007.

Sellers called for a vote on the motion as presented. Approved 14-0-0 with 1 recusal (Keating).

- b. **Verizon Carmel Resort, Project #150787** – Kerrigan Diehl, Verizon Rep, distributed plan materials and briefly described the project - 2 antenna sectors with 4 antennas each (8 antennas total with sock covers) mounted on a 25' monopine tree and a 12' by 25' chain link enclosure with equipment boxes. Located at the water reservoir/tower, 10985 Avenida Maria, on the north end of PQ. She noted that Sprint is no longer pursuing their project at the water tower. Sellers stated that K. Diehl had been meeting with the Wireless Committee over the past couple of months to review the plans and work through the concerns and details. Murphy, Wireless Committee Chair, then read the recommendation of the committee followed by discussion.
- i. Becker asked K. Diehl to confirm that the landscaping plans called for native plant materials? Yes and existing plant materials will stay, and irrigation will be provided to maintain new plants/trees. Becker recommended, as a condition of the approval, that more mature trees be planted, specifically 24" boxed trees become 36" boxed trees and the 15 gallon become 24" boxed trees.
- ii. Murphy noted that the fencing should be of the same style and height with green vinyl slats. The enclosure will be attached to the existing fence providing it's 4th side.

iii. K. Diehl confirmed that the cabinets contained in the enclosure would be grey in color, the tree would be 25' high and the branches would extend beyond the equipment.

Motion: To approve the project as designed with the following conditions:

- 1) That the 24" box trees be changed to 36" box trees.
- 2) That the 15 gallon plants be changed to 24" box trees.
- 3) Fence to match in height and style with green vinyl slats.
- 4) Fence to have only three sides with the fourth side being the existing fence.
- 5) Equipment cabinets will be no higher than the fence.

M/S/C – Murphy/LaGrone, Approved 14-0-1 abstention (Shoecraft).

- c. **Rancho Peñasquitos Pump Station** – Design Build Capital Improvement Project to replace the existing Pump Station located in PQ at Sparren Way & Talca Avenue; distributed handout on project background and overview. George Fredha, City of San Diego, and Greg Parks of Katz & Associates (consultant & community liaison) presented on the status of project. To-date: Mitigated Negative Declaration was approved, designer hired to complete design by end of 2008, and project completion scheduled for 2010. Station will look like a house, approximately 3,000 sq. ft. with insulation to mitigate noise concerns of the neighbor. Presently meeting with neighbors to discuss issues, distributed door hanger last month to 15 surrounding homes, plan to keep informed of ongoing studies and construction. All questions can be directed to www.sandiego.gov/engineering-cip or call 619-533-4679.

Questions & Comments, RPPB Members:

- LaGrone asked what impact the change over might have on the community and the time to make the switch from old pump station to the new. Fredha stated that the community would be given notice and to actual switch could take approximately 3-5 hours to complete.
 - Spurr asked for more clarity in the local delivery system. Fredha stated that the pump would run during the hours of need to maintain water pressure & supply, usually daytime hours when the need is highest and taper off during the evening and night hours. The water source was the Miramar treatment plant with supply lines that filled the Black Mtn. & RB reservoirs.
 - Keating requested illustrated elevations of the plan be provided to RPPB.
 - Becker asked that a copy of design materials be supplied prior to the next meeting's presentation tentatively scheduled for July.
 - LaGrone asked if a story pole at the site might be beneficial to demonstrate the size and height of building on the lot. Fredha will look into the 'pole' suggestion.
 - Fredha added that the RB reservoir reconstruction was almost complete and should be online in November 2008.
 - Sellers added that construction vehicle traffic and parking have been a concern of local neighbors.
 - Diehl asked if the waterline construction at Canyonside Park going west would restart soon, when money becomes available.
- ii. Public Questions & Comment:
- Sherri Lightner asked if solar panels would be installed. Fredha stated that the roof on the station was not large enough for panels, but the RB reservoir has panels on the roof.

8. REPORTS.

- a. Chair Report – Charles Sellers
 - CPC Meeting 1) CPC set up a committee to research need of expanding the Planning Commission to ease workload/speed up the process; 2) COMPACT still exists – if anyone is interested in representing RPPB, let him know; 3) Follow-up to City Attorney’s letter to the CPC about the use of secret ballots to elect officers - Sellers shared the Brown Act (Section 54952) definition of ‘Legislative Body’ which defines advisory bodies as legislative bodies and subject to the Brown Act (see attachment); 4) Substantial Conformance Review – CPC is working to get projects before planning groups v. city staff making decisions under SCR following staff approval of an RB project that should have been reviewed at the local level.
- Vice-Chair Report – Jon Becker – no report
- b. Secretary Report – Jeanine Politte
 - Repaving of Peñasquitos Drive all the way to Del Diablo Way is in jeopardy because the City Attorney refused to approve the Bond that the Mayor’s Office has proposed and the City Council has approved for infrastructure projects.
- c. Standing Committee Reports:
 - Land Use (Jon Becker) – PPH previously discussed; Black Mountain Ranch Community Plan Amendment will be on the LUC agenda for July.
 - Wireless (Lynn Murphy) – Sellers will check with Murphy to see if any projects are on the June agenda.
- e. Ad Hoc Committee Reports:
 - Bylaws/Elections (Joost Bende) – Sellers reported that the Bylaws have been submitted to the city, hoping for approval by end of June so new members from Torrey Highlands and Black Mtn. Ranch can be seated in July.
 - Community Funds (Bill Diehl) – no report
 - Fire Prevention (Dennis Spurr) – Attended “Living with Wildfire” Fire Prevention program at Scripps Ranch Library. Natural History Museum discussed the biology of chaparral and coastal sage, the positive impact it has on nature and the regenerative properties. There are the obvious things you can do to your home to protect it – close off under-eave vents, replace shake roofs, and create defensible space around your home. He learned that the flame front of a fast moving fire, like the Cedar or Witch Creek fires, passes in approximately 2 minutes, and if your structure is build to withstand the heat and the flames, it can survive.
 - Transportation (John Keating) – no report
 - Santa Fe Summit (Jon Becker) – no recent communication from representatives.
- f. Liaison and Organization Reports:
 - Community Planners Committee (Charles Sellers) – reported under Chairs report.
 - Black Mountain Ranch Open Space (Pamela Kelly) – Ranger Ed replaced Ranger Mel. Kelly reported on trail repairs, a new park kiosk has been set up at Black Mountain Community Park, and new maps are available at the kiosks
 - MCAS Miramar Community Leaders Forum (Spurr and Diehl) – Flight routes have been modified during the US Open avoiding Torrey Pines Golf Course to eliminate noise.
 - Recreation Council (Jim LaGrone) – Diehl reported no new action items. The Sports Council discussed field usage with only community parks available this fall for sports

- (BMMS fields unavailable). He is attempting to get some newspaper articles published on the matter. Sellers asked if there had been further discussion and progress on instituting a fee structure for field use; not yet.
- Town Council (Mike Shoecraft) – Election of 4 new members was conducted at the Fiesta; they will be approved on June 5th.
 - Park Village MAD (Jon Becker) – Preparing to oversee PPH open space.
 - Peñasquitos East MAD (Bill Diehl) – Park & Rec to maintain 20' uphill from curbface at BM Community Park; need to hire park maintenance guys to replace those who left; a remote controlled airplane course has been set up illegally on public property in an undeveloped section of the park.
 - Torrey Highlands MAD (Scot Sandstrom) – D. R. Horton is closing all San Diego offices, staff being transferred to Corona; LMAD met with D. R. Horton and is asking the city to foreclose on the bonds, but D. R. Horton is asking them to hold off.

The meeting was adjourned at 9:38pm.

Respectfully submitted,
Jeanine Politte, RPPB Secretary

Approved 7/2/08, 11-0-0.



City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other Re-zone/Vacation

Project Title

Community Wellness Campus

Project No. For City Use Only

129854

Project Address:

12855 Black Mountain Road

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

ADMINISTRATION

PALOMAR
POMERADO
HEALTH

May 1, 2007

City of San Diego
Development Services Department
1222 First Ave, 3rd Floor
San Diego, CA 92101

Subject: Ownership Disclosure Form

Dear Development Services Staff:

The purpose of this letter is to inform the City of San Diego that the property located at 12855 Black Mountain Road is owned by Palomar Pomerado Health (PPH), a California special district formed pursuant to Sections 32000-32490.9 of the Health and Safety Code. As the President and CEO of PPH, I am authorized to acknowledge that an application for a permit has been filed and the district will record encumbrances against the property, consistent with the conditions of approval.

Sincerely,


Michael H. Covert, F.A.C.H.E.
President and CEO

Board Members

Marcelo Rivera, M.D.
Director

Nancy L. Bassett, R.N., M.B.A.
Secretary

T.E. (Ted) Kleiter
Treasurer

Linda Greer, R.N.
Vice Chair

Bruce Krider
Chairman

Alan W. Larson, M.D.
Director

Jerry Kaufman, M.A.P.T.
Director

Executive Management Team

Michael H. Covert, FACHE
President & CEO

Gerald Bracht
Chief Administrative Officer, Palomar Medical Center

Sheila Brown
Chief Clinical Outreach Officer

Duane Buringrud, M.D.
Chief Medical Quality Officer

Gustavo Friederichsen
Chief Marketing Officer

Robert Hemker
Chief Financial Officer

Opal Reinbold

Chief Quality Officer

Janine Sarti, Esq.

General Counsel

Lorie Shoemaker, RN, MSN, NEA-BC

Chief Nurse Executive

David Tam, M.D., FACHE

Chief Administrative Officer, Pomerado Hospital

Steve Tanaka

Chief Information Officer

DEVELOPMENT SERVICES
Project Chronology
 COMMUNITY WELLNESS CENTER - PROJECT NO. 129854

Date	Action	Description	City Review Time	Applicant Response
06/21/07	First Submittal	Project Deemed Complete		
08/09/07	First Assessment Letter		49 days	
01/31/08	Second Submittal			175 days
03/14/08	Second Review Complete/Second Assessment Letter		43 days	
06/27/08	Third Submittal			105 days
08/06/08	Third Review Complete/Third Assessment Letter		40 days	
12/04/08	Fourth Submittal			120 days
02/03/09	Fourth Review Complete/Project Reviews Complete		61 days	
04/09/09	Planning Commission Hearing		65 days	
TOTAL STAFF TIME**			218 days = 7 months and 8 days	
TOTAL APPLICANT TIME**				400 days = 1 year, 1 month and 5 days
TOTAL PROJECT RUNNING TIME**		From Deemed Complete to Planning Commission	618 days = 1 year, 8 months and 13 days	

**Based on 30 days equals to one month.

Planning Commission Initiation Issues & Responses for PTS # 129854, Community Wellness Center

The Plan Amendment was initiated by the Planning Commission on January 19, 2006. At the Planning Commission Initiation, several issues were identified for future analysis. Planning Commission issues and staff responses are provided below.

1. Analysis of an appropriate land use and zoning designation for the subject property.

The 4.45-acre site is currently designated *Religious Facility* within the Rancho Penasquitos Community Plan. The requested Community Plan Amendment (CPA) would create a new land use designation of *Health Clinic & Wellness Center*, which would be grouped with the other institutional uses contained in the community plan. A land use heading of *General Institutional* is proposed by staff in order to group these uses into a single category similar to the General Plan framework. The CPA would allow for the development of the proposed medical facility and associated community wellness center.

The new outpatient clinic/medical office building would provide space for an outpatient urgent care facility and medical offices. The adjacent Wellness Center would provide educational classes such as childbirth and behavioral health classes, as well as group activities and fitness programs, and include numerous meeting rooms of various seating capacities, waiting room, nurse's office, and dining/activity room. Analysis has concluded that the proposed project would fit the description of *Institutional and Public and Semi-Public Facilities* land use category in the General Plan.

At present, the site is zoned RS-I-14. The request would change the zone to IL-3-1. The property has historically been used for a church/school. The proposed uses associated with a wellness campus are consistent with the proposed zone.

2. Compatibility of the proposed development with surrounding uses.

The most immediate land use to the proposed wellness campus is the Church of the Latter Day Saints, another community-serving use, which borders the proposed project site on portions of two sides. The wellness campus and church, as institutional uses, would be considered compatible. Their peak traffic hours are different, eliminating any incompatible effects in terms of circulation and parking.

Along the northern edge of the proposed use is State Route 56, which offers convenient regional access. The proposed use can utilize freeway access to minimize traffic on the community's broader circulation system. This is a benefit to the project as well as the community.

Two existing single-family neighborhoods also exist near the site. The neighborhood to the west would not be significantly impacted by the proposed project. This is due to Black Mountain Road, a wide primary arterial, and the placement of the buildings on the irregularly shaped site

which would create an approximately 400 foot separation between the wellness clinic and existing homes on the west.

A second neighborhood of single-family homes is located to the south of the property, but is topographically separated by an existing (approximately) 40-foot high slope. Several trees and landscape areas assist with the visual separation between the existing church/proposed wellness center and residential neighborhood. Design features applied to the proposed project will minimize any potential visual impacts. For instance, the nave portion of the existing building remains and faces the adjacent residential neighborhood, maintains its existing architectural style which may be characterized as Spanish/Mediterranean. Keeping this part of the building intact would eliminate potential visual impacts from the residential neighborhood. The building then transitions into a more modern style when it wraps around to the front entrance that faces the Clinic. Adjusting of materials and the use of neutral colors helps softens the transition.

3. Evaluation of traffic impacts of the proposed change in use to determine if any circulation improvements would be necessary.

A traffic analysis was prepared by Linscott Law & Greenspan Engineers (LLG) in February 2007 which evaluated the potential impacts of the proposed project both in the near-term (2010-2011) and long-term (2030) conditions. The proposed project would generate 1,160 more average daily trips than the historical use of the site for a church/school. However, the proposed project is projected to reduce the amount of traffic during the AM and PM peak hours. The study, which assumed that Black Mountain Road will not be widened, concluded that the proposed project would not result in any significant impacts to intersections, road segments or freeway segments during both AM and PM peak hour periods in the near-term or long-term conditions.

To comply with a request of city traffic staff, the applicant will be providing an Irrevocable Offer to Dedicate (IOD) additional right-of-way along Black Mountain Road. As described in the traffic report, the proposed change in use did not generate the need for any additional circulation improvements.

4. Analysis of shared facilities with the adjacent property

The only currently shared facility is the access driveway which has historically served both the site of the proposed use and the neighboring church. Using a combined access has worked well for both parties and avoided the need for two closely spaced driveways off a six-lane primary arterial. Shared parking between the proposed wellness center and the church does not need to be explored with this permit because the wellness center is able to meet Municipal Code parking requirements onsite.

5. Evaluation of including the adjacent property in the proposed community plan amendment.

The adjacent property is occupied by the Church of the Latter Day Saints, which is identified as *Religious Facility* in the community plan. It is anticipated this existing land use will continue for the foreseeable future. Representatives of the church have not asked to be included in the proposed community plan amendment. Both the Wellness Campus and Church are institutional uses and would be considered compatible neighbors.

The requested CPA would create a new land use designation of *Health Clinic & Wellness Center*, which would be grouped with the other institutional uses contained in the community plan. A land use heading of *General Institutional* is proposed by staff in order to group these uses into a single category similar to the General Plan framework. Uses under General Institutional include health clinic & wellness center, church, school, and civic buildings (police, fire, etc.)

6. Compatibility between the proposed community plan amendment and the City's Progress Guide and General Plan and Strategic Framework Element.

The overriding premise of the Progress Guide and General Plan and Strategic Framework Element is to protect the health, safety and welfare of the public. Palomar Pomerado Health's proposed land use amendment to provide for a satellite facility (outpatient clinic and medical offices) is consistent with this fundamental goal because it would provide needed medical services to residents within the vicinity. Presently, there are no health care-related facilities in the community, with the health care services needs of the Rancho Penasquitos are currently met by facilities in Escondido, Poway and the north-central portion of the City of San Diego.

Another important goal of both documents is to assure the adequate provision of public facilities and services such as parks, circulation, fire and police. The service of providing medical treatment is also critical given the continuing growth and aging nature of the population. Health care is entrusted to a variety of public and private entities, rather than being a municipal responsibility. In California, a total of 85 public health districts exist; Palomar Pomerado Healthcare, California's largest public health district, can fulfill the public's medical service needs by modernizing and expanding facilities consistent with the City's long-range plans.

The Social Needs Element of the Rancho Penasquitos Community Plan notes the limited nature of social programs and institutions, and advocates the need to expand health and mental health services. The Public Facilities and Service Element indicate that consideration should be given to establishing a community health care clinic, centrally located in Rancho Penasquitos to serve the North City area. The clinic, as envisioned by the community plan, could provide community health education and information services, as well as operate as a center for prevention and education services. Limited emergency, diagnosis and treatment services could also be possible. Palomar Pomerado Health, by establishing and operating the proposed satellite facility, would fulfill these important objectives of the 1993 Rancho Penasquitos Community Plan.